

An
Bord
Pleanála

Strategic Housing Development

Application Form

Before you fill out this form

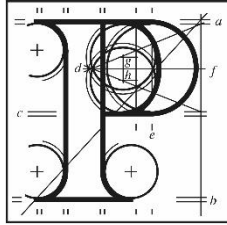
Please note that failure to complete this form or attach the necessary documentation, or the submission of incorrect information or omission of required information, will lead to An Bord Pleanála refusing to deal with your application. Therefore, ensure that each section of this request form is fully completed and signed, entering n/a (not applicable) where appropriate, and that all necessary documentation is attached to the application form. You are advised to refer to the “General Guidance Note” provided on pages 27 to 29 prior to completing this form.

Other Statutory Codes

An applicant will not be entitled solely by reason of a planning permission to carry out the development. The applicant may need other statutory consents, depending on the type of development. For example, all new buildings, extensions and alterations to, and certain changes of use of existing buildings must comply with building regulations, which set out basic design and construction requirements

Data Protection

It is the responsibility of persons or entities wishing to use any personal data on a planning application form for direct marketing purposes to be satisfied that they may do so legitimately under the requirements of the Data Protection Acts 1988 and 2003. The Office of the Data Protection Commissioner state that the sending of marketing material to individuals without consent may result in action by the Data Protection Commissioner against the sender, including prosecution.



An
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Application Form in respect of a Strategic Housing Development

Contact details for sections 1 to 4 to be supplied in Section 26 of this form.

1. Applicant:

Name of Applicant:	Ballymount Properties Limited
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2. Where the Applicant is a Company (Registered under the Companies Acts):

Registered Address of Company:	Unit 3N and Unit 4N, Ballymount Drive, Ballymount Industrial Estate, Walkinstown, Dublin 12
Company Registration No:	588720

3. Name of Person/Agent (if any) Acting on Behalf of the Applicant:

Name:	John Spain Associates
Is An Bord Pleanála to send all correspondence to the above person/agent acting on behalf of the applicant? (Please tick appropriate box)	Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] (Please note that if the answer is "No", all correspondence will be sent to the applicant's address)

4. Person Responsible for Preparation of Drawings and Plans:

Name:	Paul Davey
Firm/Company:	RKD Architects

5. Planning Authority

Name of the Planning Authority(s) in whose functional area the site is situated:	Kildare County Council
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6. Site of Proposed Strategic Housing Development:

Postal Address /Townland/ Location of the Proposed Development (sufficient to identify the site in question):	
Address Line 1:	Former Magee Barracks Site,
Address Line 2:	Hospital Street (R445),
Address Line 3:	
Town/City:	Kildare Town,
County:	Kildare
Eircode:	
Ordnance Survey Map Ref. No. (and the Grid Reference where available)	OSI map sheets: 3660-a 2660-c ITM centre pt. cords: 673426, 712334
Where available, please provide the application site boundary, as shown in the submitted plans / drawings, as an ESRI shapefile in the Irish Transverse Mercator (ITM IREN95) co-ordinate reference system. Alternatively, a CAD file in .dwg format, with all geometry referenced to ITM, may be provided.	
Area of site to which the application relates in hectares:	11.35 ha
Site zoning in current Development Plan or Local Area Plan for the area:	Z – ‘Regeneration of Magee Barracks’ within the Kildare Town Local Area Plan 2012 – 2018
Existing use(s) of the site and proposed use(s) of the site:	Existing: Vacant military buildings, all of which are in a state of disrepair, areas of hard surfacing formerly used as training

	<p>grounds / assembly areas and green-field lands.</p> <p>Proposed: Phase 1 Residential development, Childcare Facility, Neighbourhood Centre including Retail units and Café including gallery/exhibition space, and associated open space and infrastructure</p>
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7. Applicant's Interest in the Site:

Please tick appropriate box to show the applicant's legal interest in the land or structure:	Owner	Occupier	Other
			X

Where legal interest is "Other", please expand further on the applicant's interest in the land or structure:

The application is accompanied by a letter of consent from the two no. landowners and a land ownership map is also attached for information purposes.

A letter of consent from Kildare County Council to the applicant Ballymount Properties Limited is included for the area of Hospital Street (R445) included within the red line boundary where improvement works are proposed subject to agreement with the Planning Authority.

<p>State Name and Address of the Site Owner: If the applicant is not the legal owner, please note that you are required to supply a letter of consent, signed by the site owner.</p>	<p>3 no letters of consent attached from the following landowners:</p> <p>Site Owners: Columbia Estates Management (I.E.) Limited, Unit 3N & Unit 4N, Ballymount Industrial Estate, Walkinstown, Dublin 12.</p> <p>Lonadale Limited, Unit 3N & Unit 4N, Ballymount Industrial Estate, Walkinstown, Dublin 12.</p> <p>Hospital Street (R445) improvement works: Kildare County Council, Aras Chill Dara, Devoy Park Naas, Co Kildare (relates to area of Hospital Street (R445) included in red line boundary)</p> <p>An ownership map has been attached for information purposes.</p>
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Does the applicant own or control adjoining, abutting or adjacent lands?	Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
<p>If the answer is “Yes” above, identify the lands and state the nature of the control involved:</p> <p>The adjoining lands within the owners control are identified in blue on the site location map accompanying this application. Please see land ownership map attached to the letters of consent for details of ownership.</p> <p>(Note the Planning and Development Regulations 2001 (as amended) state any land which adjoins, abuts or is adjacent to the land to be developed and which is under the control of the applicant or the person who owns the land which is the subject of the application to be shown in blue).</p>	

8. Site History:

Is the applicant aware of any valid planning applications or An Bord Pleanála decisions previously made in respect of this land / structure?	Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]	
<p>Note: If an application for permission for strategic housing development or a planning application under section 34 of the Planning and Development Act 2000 has been made in respect of this site in the 6 months prior to the submission of this application, the site notice for the current application in respect of strategic housing development must be on a yellow background.</p>		
<p>If the answer is “Yes” above, please state the planning register reference number(s) / An Bord Pleanála reference number(s) of same, if known, and details of application(s) / appeal(s):</p>		
Reg. Ref. No. / An Bord Pleanála Ref. No.	Nature of Proposed Development <u>Please see Planning Report for further details.</u>	Final Decision by Planning Authority / An Bord Pleanála

<p>Reg. Ref.: ABP-301371-18</p>	<p>This application sought permission for the demolition of 16 no. existing buildings (including a range of former Barracks buildings, the Officers' Mess building and Water Tower structure) with a GFA of 16,115 sq.m, and the construction of a development comprising of 264 no. residential units, a neighbourhood centre comprising of 3 no. single storey retail units with a GFA of 115 sq.m, 105 sq.m and 100 sq.m respectively, a café (including gallery / exhibition area at mezzanine level) with a GFA of 300 sq.m, a two-storey childcare facility with a GFA of 680 sq.m and associated play area, all internal roads, car parking, pedestrian and cycle paths, public open space, and all associated site and infrastructural works on an application site of c. 11.14 ha.</p>	<p>Refused by ABP</p>
<p>18149</p>	<p>Cancer Treatment Clinic/Proton Clinic - The demolition of 6 No. existing buildings (with a GFA of c. 2,180sqm) and the removal of hard surfacing on the subject site, and the construction of a part 1, part 2 and part 3 No. storey Health Care Facility for a Cancer Treatment Clinic (Proton Therapy) with a GFA of c. 3,555sqm, including a terrace and plant areas at roof level, on a site area of approximately 2.5 hectares at the former Magee Barracks, Hospital Street (R445), Kildare Town, Co. Kildare.</p>	<p>Currently under appeal to ABP. No decision due date available at present.</p>
<p>18273</p>	<p>Supermarket / Discount Foodstore - Demolition of existing structures including the gatehouse and an ancillary building. The construction of a single storey, licensed, discount foodstore with a gross internal area of 2,192sqm incorporating an off-licence area at Magee Barracks, Hospital street, Kildare Town, Co. Kildare.</p>	<p>Grant Permission</p>
<p>Is the site of the proposed development subject to a current appeal to An Bord Pleanála?</p>		<p>Yes: [X] No: [] Slight overlap between the Cancer Treatment Clinic Site (subject</p>

	to a current appeal to ABP) and the Proposed SHD site.
<p>If the answer is "Yes" above, please specify the An Bord Pleanála reference no.:</p> <p>ABP-303141-18</p>	
<p>Is the applicant aware of any other relevant recent planning applications or decisions by An Bord Pleanála in relation to adjoining or adjacent sites?</p>	<p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p>
<p>If the answer is "Yes" above, please state the planning register reference number(s) / An Bord Pleanála reference number(s) of same, if known, and details of application(s) / appeal(s):</p>	
<ul style="list-style-type: none"> • Kildare County Council Reg. Ref.: 1613 - The construction of a new school building (Gaelscoil Mhic Aodha, Roll No. 20428D) comprising of 1 No. 2 storey primary school building with 8 classrooms at Melitta Road, Kildare Town, Co. Kildare. <p>Decision: Grant permission with conditions. Decision Date: 18/05/2016.</p> <ul style="list-style-type: none"> • Kildare County Council Reg. Ref.: 13635 / An Bord Pleanála Ref. PL09.243089 - A new 2 storey national school with all associated site works at Magee Barracks, Melitta Road, Kildare Town, Co. Kildare. <p>Decision: Grant permission with conditions. Decision Date: 09/07/2014.</p> <p>Please refer to section 3 of the Planning Report for further detail on the planning history of adjoining or adjacent sites.</p>	
<p>Is the applicant aware of the site ever having been flooded?</p>	<p>Yes: [<input type="checkbox"/>] No: [<input checked="" type="checkbox"/>]</p>
<p>If the answer is "Yes" above, please give details e.g. year, extent:</p> <p>N/A</p>	
<p>Is the applicant aware of previous uses of the site e.g. dumping or quarrying?</p>	<p>Yes: [<input type="checkbox"/>] No:[<input checked="" type="checkbox"/>]</p>
<p>If the answer is "Yes" above, please give details:</p> <p>N/A</p>	

9. Description of the Proposed Strategic Housing Development:

Please provide a brief description of the nature and extent of the proposed development, including-

- the proposed types and numbers of houses, student accommodation or both,
- in the case of student accommodation units, the combined number of bedspaces, and any other uses to which those units may be put,
- proposed services ancillary to residential development,
- other proposed uses in the development of the land, the zoning of which facilitates such use, and
- where an Environmental Impact Assessment Report or Natura Impact Statement has been prepared in respect of the application, an indication of that fact.

We, Ballymount Properties Limited, intend to apply to An Bord Pleanála for permission for a strategic housing development at the Former Magee Barracks Site, Hospital Street (R445), Kildare Town, Co. Kildare. The site is bound to the south by Hospital Street (R445), and to the east, west and north by existing residential areas.

The development will consist of the demolition of 17 no. existing buildings (including a range of former Barracks buildings, the Officers' Mess building and Water Tower structure) with a GFA of 16,320 sq.m, and the construction of a development comprising of 375 no. residential units, a neighbourhood centre comprising of 3 no. single-storey retail units with a GFA of 130 sq.m, 105 sq.m and 100 sq.m respectively, a café (including gallery / exhibition area at mezzanine level) with a GFA of 300 sq.m, a two-storey childcare facility with a GFA of 680 sq.m and associated play area, all internal roads, car parking, pedestrian and cycle paths, public open space, and all associated site and infrastructural works on an application site of c. 11.35 ha.

The 375 no. residential units proposed consist of the following:

- 76 no. 3 bed semi-detached houses;
- 42 no. 3 bed terrace houses;
- 60 no. 4 bed semi-detached houses;
- 7 no. 4 bed detached houses;
- 16 no. 1 bed apartment units within the duplex blocks;
- 34 no. 2 bed apartment units within the duplex blocks;
- 18 no. 3 bed apartment units within the duplex blocks;
- 30 no. 1 bed apartment units within the apartment blocks; and
- 92 no. 2 bed apartment units within the apartment blocks.

The houses are 2 to 3 storeys in height, the duplex blocks are 2 to 3 storeys in height and the apartment blocks are 4 to 5 storeys in height over basement car park. The associated site and infrastructural works include foul and surface / storm water drainage, attenuation tanks, 639 no. car parking spaces (comprising 560 no. spaces for the residential units, 51 no. visitor spaces, and 28 no. spaces to serve the proposed childcare facility, retail, and café units), public open space measuring c. 1.80 hectares, bin and bike stores, 3 no. electricity substations, landscaping, boundary walls, railings and fences.

A new signalised road junction is proposed onto Hospital Street, providing access to the proposed development and also to adjacent sites to the west and east. Road works are also proposed to Hospital Street (R445), including pedestrian crossings, provision of cycle lanes, upgrades to footpaths, signage, road markings and traffic signalling.

The subject site is zoned 'Z -Regeneration of Magee Barracks' in the Kildare Town Local Area Plan 2012-2018. The application contains a statement setting out how the proposal will be consistent with the objectives of the Kildare County Development Plan 2017-2023 and the Kildare Town Local Area Plan 2012-2018.

The application contains a statement indicating why permission should be granted for the proposed development, having regard to a consideration specified in Section 37(2)(b) of the Planning and Development Act, 2000, as amended, notwithstanding that the proposed development materially contravenes a relevant development plan or local area plan other than in relation to the zoning of the land.

An Environmental Impact Assessment Report has been prepared in respect of the proposed development and accompanies this application.

The application together with the Environmental Impact Assessment Report may be inspected, or purchased at a fee not exceeding the reasonable cost of making a copy, during public opening hours at the offices of An Bord Pleanála and Kildare County Council. The application may also be inspected online at the following website set up by the applicant: www.mageebarracksphase1.ie

Please submit a site location map sufficient to identify the land, at appropriate scale.	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
Please submit a layout plan of the proposed development, at appropriate scale.	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]

10. Pre-Application Consultations

(A) Consultation with Planning Authority:

State the date(s) and planning authority reference number(s) of the consultation meeting(s) held with the planning authority under section 247 of the Planning and Development Act 2000:

Planning Authority reference number:	SHD2018.10 PP Ref 4207
Meeting date(s):	16th October 2018

	Please refer to Section 4 of the accompanying Planning Report for a detailed summary of the pre-application consultation undertaken with the Planning Authority.
(B) Consultation with An Bord Pleanála:	
State the date(s) and An Bord Pleanála reference number(s) of the pre-application consultation meeting(s) with An Bord Pleanála:	
An Bord Pleanála reference number:	ABP-302920-18
Meeting date(s):	11th December 2018
(C) Any Consultation with Prescribed Authorities or the Public:	
Provide details of any other consultations the applicant had with authorities prescribed under section 8(1)(b) and (c) of the Act of 2016 or with the public:	
<p>Irish Water - Pre-connection enquiry and confirmation of feasibility from Irish Water. Statement of Design Acceptance letter also received from Irish Water. Both attached to this form.</p> <p>Department of Culture, Heritage and the Gaeltacht - Consultation with the National Monuments Service of the Department of Culture, Heritage and the the Gaeltacht (DCHG) took place on the 10th November 2017. Appropriate mitigation measures for the overall Magee Barracks Masterplan Area were agreed and the recommendations and mitigation measures have been incorporated into the proposed development. (Refer to Chapter 4 and Appendix 4.2 of the accompanying EIAR for evidence of consultation with the Department of Culture, Heritage and the Gaeltacht).</p> <p>Schools- Consultation undertaken with the Board of Management / School Principal of the adjacent Kildare Town Educate Together National School in relation to the proposed pedestrian connection to the school lands and the proposed boundary treatment. A letter of support for the proposed connection has been provided from the Board of Management / School Principal and accompanies this planning application.</p>	

11. Application Requirements

	Enclosed: Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
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(a) Is a copy of the page from the newspaper containing the notice relating to the proposed strategic housing development enclosed with this application?	
If the answer to above is "Yes", state name(s) of newspaper(s) and date(s) of publication:	The Herald. 26/07/2019
(b) Is a copy of the site notice relating to the proposed development enclosed with this application?	Enclosed: Yes: [X] No: []
If the answer to above is "Yes", state date on which the site notice(s) was erected:	26/07/2019
<p>Note: The location of the site notice(s) should be shown on the site location map enclosed with this application.</p> <p>The location of 6 no. site notices is shown on the accompanying site location map.</p> <p>They are located on or near the main entrances to the land concerned from public roads having regard to Article 19 of the Planning and Development Regulations 2001 as amended. (The school site is not accessible during school months, so the site notice has been erected at Melitta Road)</p>	
(c) Is an Environmental Impact Assessment Report (EIAR) required for the proposed development?	Yes: [X] No: []
If the answer to above is "Yes", is an EIAR enclosed with this application?	Enclosed: Yes: [X] No: []
Please provide a copy of the Confirmation Notice obtained from the EIA Portal where an EIAR accompanies the application.	Enclosed: Yes: [X] No: [] Please see confirmation notice from the DHPLG EIA Portal dated 24/07/19 attached to this application form

(d) Is the proposed development, in whole or in part, within or close to a European site or Natural Heritage Area?	Yes: [] No: [X]
(e) Is a Natura Impact Statement (NIS) required for the proposed development? Appropriate Assessment Screening Report included.	Yes: [] No: [X]
If the answer to above is "Yes", is an NIS enclosed with this application?	Yes: [] No: [] N/A
(f) Has a copy of this application, and any EIAR and/or NIS required, been sent to the relevant planning authority, in both printed and electronic form?	Yes: [X] No: []
(g) Has a copy of this application, and any EIAR and/or NIS required, together with a notice stating that submissions or observations may be made in writing to An Bord Pleanála (ABP) during the period of 5 weeks from the receipt by ABP of the application, been sent to the relevant prescribed authorities, in both printed and electronic format?	Yes: [X] No: [] N/A: []
If the answer to the above is "Yes", list the prescribed authorities concerned:	<p>As per Page 3-4 of the Board's Opinion, printed and electronic copies of the application has been sent to the following prescribed authorities:</p> <ul style="list-style-type: none"> • The Minister for Culture, Heritage and the Gaeltacht • The Heritage Council • An Taisce - the National Trust for Ireland • Transport Infrastructure Ireland • National Transport Authority • Irish Water <p>We enclose a copy of the letters issued to the above for reference purposes.</p>
If the answer to the above is "Yes", state the date on which the required documents and electronic copy were sent to the relevant prescribed authorities:	26/07/2019

(h) Is the proposed development likely to have significant effects on the environment of a Member State of the European Union or a state that is a party to the Transboundary Convention?	Yes: [] No: [X]
If the answer to the above is “Yes”, has a copy of this application, and the accompanying EIAR, together with a notice stating that submissions or observations may be made in writing to An Bord Pleanála (ABP) during the period of 5 weeks from the receipt by ABP of the application, been sent to the relevant authority in the state or states concerned, in both printed and electronic format?	Yes: [] No: [] N/A
If the answer to the above is “Yes”, list the state(s) and the prescribed authorities concerned:	N/A
If the answer to the above is “Yes”, state the date on which the required documents and electronic copy were sent to the relevant prescribed authorities:	N/A

12. Statements Enclosed with the Application Which:

(a) Set out how the the proposed strategic housing development is consistent with the relevant objectives of the relevant development plan:	<p>Enclosed: Yes: [X] No: []</p> <p>Details of planning policy/development plan consistency are included in the Statement of Consistency accompanying this application.</p>
<p>Note: The statement should be accompanied by a list of each relevant development plan objective considered by the prospective applicant in making the statement and proposals forming part of the application that demonstrate the consistency of the proposed development with that objective.</p>	

<p>(b) Set out, where applicable how the proposed strategic housing development will be consistent with the objectives of the relevant local area plan:</p>	<p>Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p> <p>Details of consistency with the Kildare Town Local Area Plan are included in the Statement of Consistency accompanying this application.</p>
<p>Note: The statement should be accompanied by a list of each relevant local area plan objective considered by the prospective applicant in making the statement and any proposals forming part of the application that demonstrate the consistency of the proposed development with that objective.</p>	
<p>(c) Set out, where applicable that the proposed strategic housing development is, in the applicant's opinion, consistent with the planning scheme for a strategic development zone:</p>	<p>Enclosed: Yes: [<input type="checkbox"/>] No: [<input type="checkbox"/>] N/A: [<input checked="" type="checkbox"/>]</p>
<p>Note: The statement should be accompanied by a list of the principal provisions of the planning scheme considered by the prospective applicant in making the statement.</p>	
<p>(d) Set out how the the proposed strategic housing development is, in the applicant's opinion, consistent with any relevant guidelines issued by the Minister under section 28 of the Act of 2000:</p>	<p>Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] N/A: [<input type="checkbox"/>]</p>
<p>Note: The statement should be accompanied by a list of the guidelines considered by the applicant in making the statement and proposals forming part of the application that demonstrate the consistency of the proposed development with the guidelines.</p> <p>Details of consistency with guidelines issued under Section 28 of the Planning and Development Act of 2000 (as amended) are included in the Statement of Consistency accompanying this application.</p> <p>This Statement is supported by the accompanying documentation prepared by RKD, BSM and Garlands, for example the Residential Quality Assessment / schedule of areas, which demonstrate compliance with the relevant Housing and Apartment Standards.</p>	

<p>(e) Where An Bord Pleanála notified the applicant of its opinion that the documents enclosed with the request for pre-application consultations required further consideration and amendment in order to constitute a reasonable basis for an application for permission, a statement setting out any changes made to the proposals in consequence.</p>	<p>Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] N/A: [<input type="checkbox"/>]</p> <p>Please refer to John Spain Associates Statement of Response report and other accompanying response documents.</p>
<p>(f) Where An Bord Pleanála notified the applicant that specified additional information should be submitted with any application for permission, a statement setting out that such information accompanies the application.</p>	<p>Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] N/A: [<input type="checkbox"/>]</p> <p>Please refer to John Spain Associates Statement of Response report and other accompanying response documents.</p>

13. Material Contravention of Development Plan/Local Area Plan:

<p>Where the proposed strategic housing development materially contravenes the relevant development plan or local area plan other than in relation to the zoning of land, is a statement included with the application indicating the plan objective concerned and why permission should, nonetheless, be granted, having regard to a consideration specified in section 37(2)(b) of the Act of 2000?</p>	<p>Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p> <p>Please refer to the accompanying Statement of Material Contravention in relation to a potential material contravention of the Kildare Town Local Area Plan 2012-2018 in relation to the specified quantum of residential units that may be potentially</p>
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	accommodated within the Magee Barracks site.
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14. Proposed Residential Development:

- (a) Provide a breakdown of the proposed residential content of the strategic housing development, as follows:

Houses		
Unit Type	No. of Units	Gross floor space in m²
1-bed	0	0
2-bed	0	0
3-bed	118	13,966
4-bed	67	10,147
4+ bed	0	0
Total	185	24,113

Apartments (Figures below include duplex units)		
Unit Type	No. of Units	Gross floor space in m²
Studio	0	0
1-bed	46	2,530
2-bed	126	10,770
3-bed	18	2,070
4-bed	0	0
4+ bed	0	0

Total	190	15,370
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Student Accommodation N/A – No Student Accommodation Proposed			
Unit Types	No. of Units	No. of Bedspaces	Gross floor space in m²
Studio			
1-bed			
2-bed			
3-bed			
4-bed			
4+ bed			
Total			

(b) State total number of residential units in proposed development:	375
(c) State cumulative gross floor space of residential accommodation, in m ² :	39,483

15. Proposed Ancillary and Other Uses in the Proposed Strategic Housing Development:

(a) Please provide details of the different classes of development proposed as ancillary to residential development and other uses on the land, the zoning of which facilitates such uses, as follows:	
Class of Development:	Gross Floor Space in m²
Childcare Facility	680

Retail Units and Café including gallery/exhibition space	635
Bin Stores (Ancillary)	12.5
<p>Note: Where it is not proposed to provide one childcare facility for each 75 houses in the proposed development, the application should be accompanied by a statement of the rationale for this. – N/A</p> <p>It is estimated that the proposed childcare facility could cater for in the order of 136 children having regard to an average of c. 5 sq.m gross floor space per child.</p>	

(b) State cumulative gross floor space of non-residential development in m ² :	1,327.5 sq.m.
(c) State cumulative gross floor space of residential accommodation and other uses in m ² :	40,810.5 sq.m.
(d) Express 15(b) as a percentage of 15(c):	3.25%

16. Strategic Housing Development Details:

Note: If the answer to any of the below statements is “Yes”, please submit a brief statement in support of your application.

Details required below are contained within Section 5 of the Planning Report/Cover Letter

Please tick appropriate box:	Yes	No
(a) Are details of housing density, plot ratio, site coverage, building heights, proposed layout and aspect enclosed with the application?	X	
(b) Are details of public and private open space provision, landscaping, play facilities, pedestrian permeability, vehicular access and parking provision, where relevant, enclosed with the application?	X	

<p>(c) Are details of any proposals to address or, where relevant, integrate the proposed development with surrounding land uses enclosed with the application?</p>	<p>X</p>	
<p>(d) Are details of any proposals to provide for services infrastructure other than water, such as cabling (including broadband provision) and any phasing proposals enclosed with the application?</p>	<p>X</p>	
<p>(e) Does the proposed development include an activity requiring an integrated pollution control licence or a waste licence?</p> <p>If “Yes”, enclose a brief explanation with this application.</p>		<p>X</p>
<p>(f) Does the proposed development involve the demolition of any structure (including a habitable house), in whole or in part?</p> <p>If “Yes”, enclose a brief explanation with this application.</p>	<p>X</p> <p>Refer to Planning Report / Cover Letter, Statement of Response to ABP's Opinion, Architectural Design Statement and Demolition Drawings</p>	
<p>(g) Does the proposed development involve the demolition of a Protected Structure(s), in whole or in part?</p> <p>If “Yes”, an explanation as to the need for the demolition of a Protected Structure(s) should be enclosed with this application.</p>		<p>X</p>
<p>(h) Does the proposed development consist of work to a Protected Structure and/or its curtilage or proposed Protected Structure and/or its curtilage?</p>		<p>X</p>

<p>If “Yes”, provide photographs, plans and other particulars necessary to show how the proposed development would affect the character of the structure.</p>		
<p>(i) Does the proposed development consist of work to the exterior of a structure which is located within an architectural conservation area (ACA)?</p> <p>If “Yes”, provide photographs, plans and other particulars necessary to show how the proposed development would affect the character of the structure.</p>		X
<p>(j) Does the proposed application development affect, or is close to, a national monument or place in the ownership or guardianship of the Minister for Culture, Heritage and the Gaeltacht or a local authority, or is it the subject of a preservation order or temporary preservation order under the National Monuments Acts 1930 to 2014?</p> <p>If “Yes”, enclose a brief explanation with this application.</p>		X
<p>(k) Is the proposed development in a Strategic Development Zone?</p> <p>If “Yes”, enclose a statement of how the proposed development is consistent with the planning scheme for the Zone.</p>		X
<p>(l) Do any statutory notices (e.g. Fire Safety, Enforcement, Dangerous Buildings, Derelict Sites, Building Control, etc.) apply to the site and/or any building thereon?</p> <p>If “Yes”, enclose details with this application.</p>		X
<p>(m) Do the Major Accident Regulations apply to the proposed development?</p>		X
<p>(n) Is information specified by An Bord Pleanála as necessary for inclusion in any application for</p>	X	

<p>permission for the proposed development, so included?</p> <p>If “Yes”, give details of the specified information accompanying this application.</p>	<p>Please see schedule of documents and attached Statement of Response to ABP's Opinion</p>	
--	--	--

17. Where the Proposed Development Relates to Existing Building(s) / Structure(s):

State gross floor space of any existing building(s) / structure(s) in m ² :	16,320
State gross floor space of any proposed demolition, in m ² :	16,320
State gross floor space of any building(s) / structure(s) to be retained in m ² :	N/A
State total gross floor space of proposed works in m ² :	40,810.5 sq.m.

18. Where the Application relates to Material Change of Use of Land or Structure:

N/A

(a) State existing use of land or structure:	N/A
(b) Where the existing land or structure is not in use, state the most recent authorised use of the land or structure:	N/A
(c) State proposed use(s):	N/A
(d) State nature and extent of any such proposed use(s):	N/A

(e) Plans (including a site or layout plan and drawings of floor plans, elevations and sections that comply with the requirements of Article 297 and 298) and other particulars required describing the works proposed should be enclosed with this application:

Enclosed: Yes: [] No: [] N/A: []

See RKD Drawing Package for architectural drawings as required under the Planning and Development Regulations 2001 as amended in respect of the proposed development.

Note: Site Location Map Scale 1:2500 as agreed with An Bord Pleanala.

19. Social Housing (Part V)

Please tick appropriate box:	Yes	No
(a) Does Part V of the Planning and Development Act 2000 apply to the proposed development?	X	
<p>(b) If the answer to Question 19(A) is “Yes”, are details enclosed as to how the applicant proposes to comply with section 96 of Part V of the Act including, for example—</p> <p>(i) details of such part or parts of the land for the proposed development or is or are specified by the Part V agreement, or houses situated on such aforementioned land or elsewhere in the planning authority’s functional area proposed to be transferred to the planning authority, or details of houses situated on such aforementioned land or elsewhere in the planning authority’s functional area proposed to be leased to the planning authority, or details of any combination of the foregoing, and</p>	<p>Please refer to Part V documentation accompanying this application.</p> <p>X</p>	
<p>(ii) details of the calculations and methodology for calculating values of land, site costs, normal construction and development costs and profit on those costs and other related costs</p>	X	

such as an appropriate share of any common development works as required to comply with the provisions in Part V of the Act, and		
(iii) a layout plan showing the location of proposed Part V units in the development?	X	
(c) If the answer to Question 19(A) is “No” by virtue of section 96(13) of the Planning and Development Act 2000, details must be enclosed with this application form indicating the basis on which section 96(13) is considered to apply to the development.	N/A	

20. Water Services:

(A) Proposed Source of Water Supply:
<p>Please indicate as appropriate:</p> <p>(a) Existing Connection: <input type="checkbox"/> New Connection: <input checked="" type="checkbox"/></p> <p>(b) Public Mains: <input checked="" type="checkbox"/></p> <p>Group Water Scheme: <input type="checkbox"/> Name of Scheme: _____</p> <p>Private Well: <input type="checkbox"/></p> <p>Other (please specify): _____</p>
(B) Proposed Wastewater Management / Treatment:
<p>Please indicate as appropriate:</p> <p>(a) Existing Connection: <input type="checkbox"/> New Connection: <input checked="" type="checkbox"/></p> <p>(b) Public Sewer: <input checked="" type="checkbox"/></p> <p>Conventional septic tank system: <input type="checkbox"/></p> <p>Other on-site treatment system (please specify): _____</p>

Where the disposal of wastewater for the proposed development is other than to a public sewer, provide information on the on-site treatment system proposed and evidence as to the suitability of the site for the system proposed:

(C) Proposed Surface Water Disposal:

Please indicate as appropriate:

(a) Public Sewer/Drain: []

Outfall to the public storm network.

*** Refer to Water Services Design Report prepared by Garlands for further details.**

Soakpit: []

Watercourse: []

Other (please specify): _____

Infiltration/Attenuation Tanks

*** Refer to Water Services Design Report prepared by Garlands for further details.**

(D) Irish Water Requirements:

Please submit the following information:

(a) Where the proposed development has the potential to impact on a public water supply source, irrespective of whether or not a connection to a water/wastewater network is required, this application must be accompanied by evidence of engagement with Irish Water and its outcome.

Enclosed:

Yes: [] No: []

Please find attached a statement of design acceptance letter received from Irish Water.

(b) A current/valid Confirmation of Feasibility Statement from Irish Water in relation to the proposed development confirming that there is or will be sufficient water network treatment capacity to service the development.

Enclosed:

Yes: [] No: []

Please find attached a confirmation of feasibility letter received from Irish Water.

<p>(c) A Statement of Compliance with Irish Water’s Standard Details and Codes of Practice for water and/or wastewater infrastructure proposals (designs, layouts, etc.).</p>	<p>Enclosed:</p> <p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p> <p>Please refer to accompanying Water Services Design Report and statement of design acceptance letter received from Irish Water.</p>
<p>(d) An indication of timelines and phasing for water demand or wastewater collection requirements, or both, as appropriate.</p>	<p>Enclosed:</p> <p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p> <p>Please refer to accompanying Water Services Design Report.</p>
<p>(e) Where the proposed development will impact on assets of Irish Water, details of proposals for protection or diversion of such assets.</p>	<p>Enclosed:</p> <p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p> <p>Please refer to accompanying Water Services Design Report.</p>

21. Traffic and Transportation

<p>(a) Is a Traffic / Transportation Impact Assessment included with the application, having regard to the relevant Development Plan / Local Area Plan requirements and the Traffic Management Guidelines (DoT / DoEHLG / DTO, 2003)?</p>	<p>Enclosed:</p> <p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p> <p>Please see TIA / Mobility Management Plan prepared by Roadplan Consulting.</p>
<p>(b) Is a Travel Plan included with the application, having regard to the relevant Development Plan / Local Area Plan requirements?</p>	<p>Enclosed:</p> <p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p> <p>Please see Mobility Management Plan prepared by Roadplan Consulting.</p>

<p>(c) Is a Road Safety Audit included with the application, having regard to the relevant Development Plan / Local Area Plan requirements?</p>	<p>Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p> <p>A Quality Audit prepared by Roadplan Consulting accompanies the application.</p>
---	---

22. Taking in Charge

<p>Is it intended that any part of the proposed development will be taken in charge by the planning authority?</p>	<p>Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]</p>
<p>If the answer is “Yes”, please attach site plan clearly showing area(s) intended for taking in charge.-</p> <p>Please refer to RKD Drawing ‘A1504 - Taken in Charge drawing’</p>	

23. Maps, Plans and Drawings

<p>List in a schedule accompanying this application all maps, plans and drawings enclosed with the application, stating title, scale and number.</p> <p>Please refer to the schedule of drawings included with RKD’s, Garland’s, Metec’s and BSM’s drawing packs.</p>
--

24. Application Fee:

<p>(a) State fee payable for application:</p>	<p>€ 68,311.60</p>
<p>(b) Set out basis for calculation of fee:</p>	<p>€130 * 375 units = €48,750</p> <p>€7.20 * 1,328 sq.m (other uses) = €9,561.60</p> <p>Submission of EIAR - €10,000</p> <p>Total = €68,311.60</p> <p>(Paid by EFT – confirmation attached)</p>


(c) Is the fee enclosed with the application?	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>]
---	---

25. Universal Design:

<p>Please provide a statement as to how the proposed Strategic Housing Development has sought to comply with the principles of Universal Design (to encourage access and use of the development regardless of age, size, ability or disability). For assistance and general information on such matters please refer for example to the National Disability Authority's "Building for Everyone: A Universal Design Approach" and "Universal Design Guidelines for Homes in Ireland" at www.universaldesign.ie</p>	Enclosed: Yes: [<input checked="" type="checkbox"/>] No: [<input type="checkbox"/>] Please refer to the architectural design statement and the Architectural Drawings submitted.
---	--

Declaration

I hereby declare that, to the best of my knowledge and belief, the information given in this form is correct and accurate and fully compliant with the requirements of the Planning and Development Act 2000 and Chapter 1 of Part 2 of the Planning and Development (Housing) and Residential Tenancies Act 2016 and the Regulations made thereunder. In this regard, I also hereby declare that, to the best of my knowledge and belief, the copies of the application documents sent to the planning authority, prescribed bodies, etc., and displayed on any website under the applicant's control are identical to the application documents being deposited with An Bord Pleanála.

Signed: (Applicant or Agent as appropriate)	
Date:	26th July 2019

26. Contact Details- Not to be Published

Applicant(s):

First Name:	N/A
Surname:	
Address Line 1:	
Address Line 2:	
Address Line 3:	
Town / City:	
County:	
Country:	
Eircode:	
E-mail address (if any):	
Primary Telephone Number:	
Other / Mobile Number (if any):	

Where the Applicant(s) is a Company:

Name(s) of Company Director(s):	Mr R N O'Carroll, Mr David Kennedy, Mr Patrick Kennedy
Company Registration Number (CRO):	588720
Contact Name:	Sean O'Brien
Primary Telephone Number:	00447415106224
Other / Mobile Number (if any):	00447415106224
E-mail address:	sean@formationgroupplc.com

Person/Agent (if any) acting on behalf of the Applicant(s):

First Name:	Paul
Surname:	Turley
Address Line 1:	John Spain Associates
Address Line 2:	39 Fitzwilliam Place
Address Line 3:	Dublin 2
Town / City:	Dublin
County:	Dublin
Country:	Ireland
Eircode:	D02 ND61
E-mail address (if any):	pturley@johnspainassociates.com
Primary Telephone Number:	01-6625803
Other / Mobile Number (if any):	0879913162

Person responsible for preparation of maps, plans and drawings:

First Name:	Paul
Surname:	Davey
Address Line 1:	RKD Architects,
Address Line 2:	59 Northumberland Road, Ballsbridge
Address Line 3:	Dublin 4
Town / City:	Dublin
County:	Dublin
Country:	Ireland
Eircode:	D04 WP89
E-mail address (if any):	pdavey@rkd.ie
Primary Telephone Number:	+353 1 668 1055
Other / Mobile Number (if any):	

Contact for arranging entry on site, if required:

Name:	Sean O'Brien
Mobile Number:	00447415106224
E-mail address:	sean@formationgroupplc.com

General Guidance Note:

1. In this form, “applicant” means the person seeking the planning permission, not an agent acting on his or her behalf. Where there is more than one applicant, the details of all applicants should be inserted, as required, on the form.
2. Where the plans have been drawn up by a firm/company the name of the person primarily responsible for the preparation of the drawings and plans, on behalf of the firm/company, should be stated.
3. In this form, “planning authority” means the planning authority in whose area the proposed strategic housing development would be situated. Where the proposed development would be situated in the area of more than one planning authority, the relevant details should be supplied separately in respect of each such authority.
4. The site location map shall be drawn to a scale (which shall be indicated thereon) of not less than 1:1000 in built up areas and 1:2500 in all other areas. The draft layout plan shall be drawn to a scale (which shall be indicated thereon) of not less than 1:500, shall show buildings, roads, boundaries, septic tanks and percolation areas, bored wells, significant tree stands and other features on, adjoining or in the vicinity of the land or structure to which the application relates.
5. Gross floor space means the area ascertained by the internal measurement of the floor space on each floor of a building (including internal walls and partitions), i.e. floor areas must be measured from inside the external wall, disregarding any floor space provided for the parking of vehicles by persons occupying or using the building or buildings where such floor space is incidental to the primary purpose of the building.

6. An Environmental Impact Assessment Report (EIAR) is required to accompany an application for permission for strategic housing development of a class set out in Schedule 5 of the Planning and Development Regulations 2001-2018 which equals or exceeds, as the case may be, a limit, quantity or threshold set for that class of development. An EIAR will be required in respect of sub-threshold strategic housing development where An Bord Pleanála considers that the proposed development would be likely to have significant effects on the environment. Under section 7(1)(a)(i)(I) of the Act of 2016, a prospective applicant may request An Bord Pleanála to make an EIA screening determination in respect of a proposed strategic housing development. Where an EIAR is being submitted with an application, it must be accompanied with a copy of the confirmation notice received from the EIA portal in accordance with article 97B(2) of the permission regulations that certain information in respect of the EIAR has been entered onto the portal.
7. An appropriate assessment (AA) is required to accompany an application for permission for strategic housing development in cases where it cannot be excluded that the proposed development would have a significant effect on a European site. Under section 7(1)(a)(i)(II) of the Act of 2016, a prospective applicant may request An Bord Pleanála to carry out an AA screening in respect of a proposed strategic housing development.
8. A list of national monuments in the ownership or guardianship of the Minister for Culture, Heritage and the Gaeltacht is available for download from the National Monuments Service website (www.archaeology.ie) under “National Monuments in State Care”. A list of preservation orders is similarly available from this website (under “Monument Protection”). The relevant local authority should be contacted in relation to national monuments in its ownership or guardianship. If a proposed development affects or is close to a national monument that is in the ownership or guardianship of the Minister for Culture, Heritage and the

Gaeltacht or a local authority, or is the subject of a preservation order or a temporary preservation order, a separate statutory consent for the development is required from that Minister under the National Monuments Acts.

9. The Record of Monuments and Places (RMP), established under section 12 of the National Monuments (Amendment) Act 1994, is available for each county in the public libraries and principal local authority offices in that county. It is also available for download from the National Monuments Service website (www.archaeology.ie) under “Publications, Forms & Legislation”. If a proposed development affects or is close to a monument listed in the RMP, there is a separate requirement to give two months advance notice of any proposed work to the Minister for Culture, Heritage and the Gaeltacht. No work may commence within the two month period except in the case of urgent necessity and with the consent of that Minister.

10. Part V of the Planning and Development Act 2000 applies where—
 - the land is zoned for residential use or for a mixture of residential and other uses,
 - there is an objective in the Development Plan for the area for a percentage of the land to be made available for social and/or affordable housing, and
 - the proposed development is not exempt from Part V.

11. Under section 96(13) of the Planning and Development Act 2000, Part V does not apply to certain housing developments by approved voluntary housing bodies, certain conversions, the carrying out of works to an existing house or the development of houses under an agreement made under section 96 of the Act.

12. All maps, plans and drawings, should, insofar as possible, comply with articles 297 and 298 of the Planning and Development Regulations 2001 to 2017.

Payment Details

Payment Reference No. 131729098

Printed On
Friday, June 28, 2019
10:14:51 AM

Pay From >

BALLYMOUNT PROPERTIES LTD , 125 O'CONNELL ST.
LIMERICK , 20656154

Pay To >

AN BORD PLEANA , IBANIE70AIBK93105500316067

Payment Details >

€68,311.60 on 28/06/2019, SEPA Payment

Status >

Payment Processed

Unit 3N and Unit 4N,
Ballymount Drive,
Ballymount Industrial Estate,
Walkinstown,
Dublin 12.

An Bord Pleanála,
64 Marlborough Street,
Dublin 1.

4th June 2019

Dear Sir / Madam,

RE: PLANNING APPLICATION FOR A STRATEGIC HOUSING DEVELOPMENT (PHASE 1 RESIDENTIAL AND NEIGHBOURHOOD CENTRE) AT THE FORMER MAGEE BARRACKS SITE, HOSPITAL STREET (R445), KILDARE TOWN, CO. KILDARE

I confirm that Columbia Estates Management (I.E) Limited consent to Ballymount Properties Ltd, the applicant, making a planning application on lands within our ownership (part of the application site) at the above referenced location.

Yours sincerely,



Director,
Columbia Estates Management (I.E) Limited

Unit 3N and Unit 4N,
Ballymount Drive,
Ballymount Industrial Estate,
Walkinstown,
Dublin 12.

An Bord Pleanála,
64 Marlborough Street,
Dublin 1.

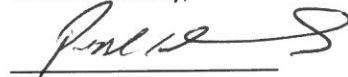
4th June 2019

Dear Sir / Madam,

RE: **PLANNING APPLICATION FOR A STRATEGIC HOUSING DEVELOPMENT (PHASE 1
RESIDENTIAL AND NEIGHBOURHOOD CENTRE) AT THE FORMER MAGEE BARRACKS SITE,
HOSPITAL STREET (R445), KILDARE TOWN, CO. KILDARE**

I confirm that this company consent to Ballymount Properties Ltd, the applicant, making a planning application on lands within our ownership (part of the application site) at the above referenced location.

Yours sincerely,



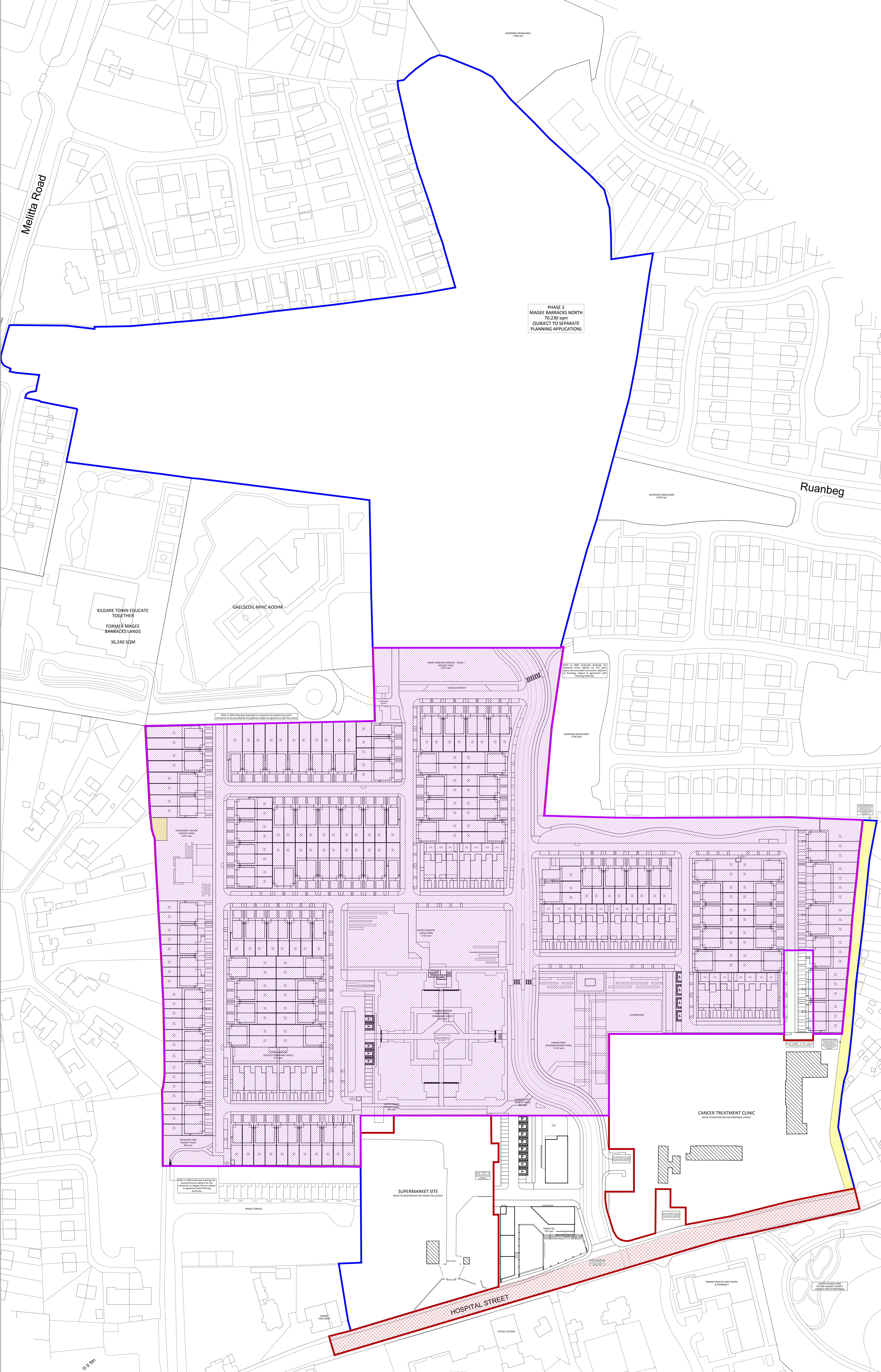
Patrick Kennedy

Director,
Lonadale limited.

All dimensions to be checked on site. Figure dimensions are preferred over scaled dimensions. The drawing may not be used or modified by the recipient.

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SITE PLAN
1:750 @ A0



PHASE 2
MAGEE BARRACKS NORTH
70,230 SQM
(SUBJECT TO SEPARATE
PLANNING APPLICATION)

KILDARE TOWN EDUCATE
TOGETHER
FORMER MAGEE
BARRACKS LANDS
36,240 SQM

GAELSCOIL MHC AODHA

Ruanbeg

HENRY HONAN GARDENS - PHASE 1
PROJECT PARK
1,000 SQM

ADJOINING GARAGELANDS
1,000 SQM

MAGEE GARDENS
LANDS PARK
1,750 SQM

MAGEE PARK
INDUSTRIAL/COMMERCIAL
1,100 SQM

CANCER TREATMENT CLINIC
REFER TO MASTERPLAN FOR PROPOSED LAYOUT

SUPERMARKET SITE
REFER TO MASTERPLAN FOR PROPOSED LAYOUT

HOSPITAL STREET

NOTE:
REFER TO 1:500 LAYOUT PLANS
(A1010-A1011) FOR COMPLIANCE
WITH PLANNING AND
DEVELOPMENT REGULATIONS.

- BOUNDARY LEGEND**
- AREA OF PROPOSED WORKS ON ROAD OUTSIDE THE OWNERSHIP OF THE APPLICANT SHOWN HATCHED RED
 - PHASE ONE SITE BOUNDARY
 - LANDS WITHIN APPLICANT'S OWNERSHIP
 - WAYLEAVE
 - LANDS WITHIN COLUMBIA ESTATES MANAGEMENT (C.E.) LTD.'S OWNERSHIP WHICH FORMS PART OF SHD APPLICATION

INDICATIVE LANDSCAPE LAYOUT - PLEASE REFER TO BSM LANDSCAPE ARCH. FOR LANDSCAPE DESIGN

REV	DATE	CHKD BY	DESCRIPTION
A	JULY 18, 2019	SG	SHD SUBMISSION
BV		CB	

BALLYMOUNT PROPERTIES LTD.

PLANNING

PROJECT: RESIDENTIAL AND NEIGHBOURHOOD CENTRE DEVELOPMENT (PHASE 1)
 PROJECT LOCATION: FORMER MAGEE BARRACKS SITE, KILDARE TOWN
 DWS TITLE: COLUMBIA ESTATES MANAGEMENT (C.E.) LTD. OWNERSHIP WITHIN REDLINE

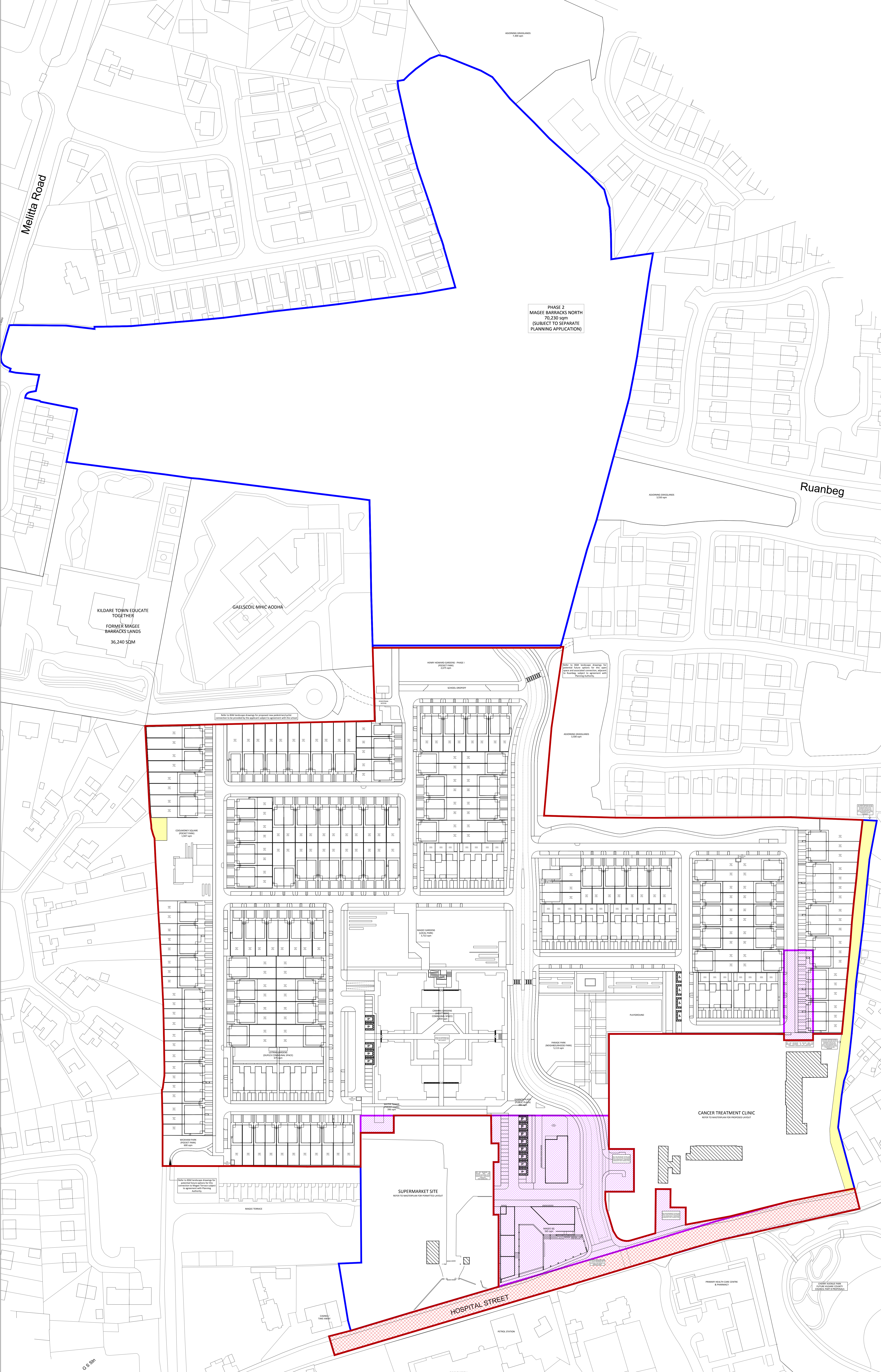
DWG NO	PROJECT NO	SCALE	
84002	18166	1:750	
REV	DATE	CHKD BY	CHKD BY
A	23/07/2019	DM	CB



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SITE PLAN
1:750 @ A0



**PHASE 2
MAGEE BARRACKS NORTH
70,230 SQM
(SUBJECT TO SEPARATE
PLANNING APPLICATION)**

**KILDARE TOWN EDUCATE
TOGETHER
FORMER MAGEE
BARRACKS LANDS
36,240 SQM**

GAELSCOIL MHC AODHA

**HENRY HOWARD GARDENS - PHASE 1
(PROJECT PARK)
6,475 SQM**

20200 LIBRARY

**MAGEE CARPARK
5,722 SQM**

**TRADE PARK
(INDUSTRIAL/COMMERCIAL)
1,133 SQM**

**CANCER TREATMENT CLINIC
REFER TO MAIN LAYOUT FOR PROPOSED LAYOUT**

**SUPERMARKET SITE
REFER TO MAIN LAYOUT FOR PROPOSED LAYOUT**

HOSPITAL STREET

NOTE:
REFER TO 1:500 LAYOUT PLANS
(A1010-A1011) FOR COMPLIANCE
WITH PLANNING AND
DEVELOPMENT REGULATIONS.

- BOUNDARY LEGEND**
- AREA OF PROPOSED WORKS ON ROAD OUTSIDE THE OWNERSHIP OF THE APPLICANT SHOWN HATCHED RED
 - PHASE ONE SITE BOUNDARY
 - LANDS WITHIN APPLICANTS OWNERSHIP
 - WAYLEAVE
 - LANDS WITHIN LONADALE LTD'S OWNERSHIP WHICH FORMS PART OF SHD APPLICATION

INDICATIVE LANDSCAPE LAYOUT - PLEASE REFER TO BSM LANDSCAPE ARCH. FOR LANDSCAPE DESIGN

REV	DATE	BY	CHKD	DESCRIPTION
A	JULY 18, 2019	SG	SHD	SUBMISSION
BV		CB	CB	

BALLYMOUNT PROPERTIES LTD.

PLANNING

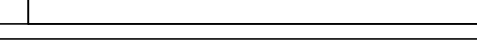
PROJECT: RESIDENTIAL AND NEIGHBOURHOOD CENTRE DEVELOPMENT (PHASE 1)
PROJECT: FORMER MAGEE BARRACKS SITE
PROJECT: KILDARE TOWN

DWG TITLE: LONADALE LTD OWNERSHIP WITHIN REDLINE

DWG NO: 81001

REV: PROJECT NO: 18166 SCALE: 1:750

DATE: 23/07/2019 DRN: CB CHK: CB





Ballymount Properties Ltd
Unit 3N and Unit 4N
Ballymount Drive
Ballymount Industrial Estate
Walkinstown
Dublin 12

May 29th, 2019

**Re: Proposed Development at
Magee Barracks lands, Kildare Town, Co. Kildare**

TO WHOM IT MAY CONCERN

In accordance with the provisions of Article 22(2)(g) of the Planning and Development Regulations 2001, as amended, Kildare County Council hereby gives its written consent to make the planning application.

Evelyn Wright
Senior Executive Officer
On behalf of the Roads, Transportation and Public Safety Department



Kildare Town
Educate Together
National School

An Bord Pleanala
64 Marlborough Street,
Dublin 1
D01 V902

Melitta Road
Kildare Town
Co. Kildare

045 530 530
office@kildaretown.ie
www.kildaretown.ie

Date: 10th June 2019

RE: Proposed Strategic housing Development at the former Magee Barracks, Kildare Town, Co. Kildare

I am writing on behalf of Kildare Town Educate Together NS.

We understand that Ballymount Properties Ltd intend to submit a planning application for a phase1 residential and neighbourhood centre development on the former Magee barracks site adjacent to the Educate Together School and the Gaelscoil.

We received the attached drawing, prepared by BSM Landscape Architects, in respect to the proposed pedestrian connection from the residential development to the schools site and the proposed boundary treatment.

We can confirm that we are agreeable to providing consent for such a connection to be made to, including a connection to existing footpaths within our lands, subject to agreement with the applicant on the final details prior to construction. We acknowledge the merits of such a proposal in terms of improving pedestrian and cycle access to the school.

We would request that An Bord Pleanala / the Planning Authority take account of the above comments in making their decision of the planning application.

Yours faithfully,

Gerry Breslin
Principal

Principal Gerry Breslin
Roll Number: 20403K

From: EIAportal <EIAportal@housing.gov.ie>
Sent: Wednesday 24 July 2019 15:24
To: Paul Turley
Subject: EIA Portal Confirmation Notice Portal ID 2019113 Ballymount Properties Limited

A Chara,

An EIA Portal notification was received on 24/07/2019 in respect of this proposed application. The information provided has been uploaded to the EIA Portal on 24/07/2019 under EIA Portal ID number **2019113** and is available to view at

<http://housinggovie.maps.arcgis.com/apps/webappviewer/index.html?id=d7d5a3d48f104ecbb206e7e5f84b71f1> .

Portal ID: 2019113

Competent Authority: An Bord Pleanála

Applicant Name: Ballymount Properties Limited

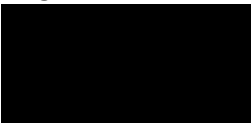
Location: Former Magee Barracks Site,
Hospital Street (R445),
Kildare Town,
Co Kildare.

Description: The development will consist of the demolition of 17 no. existing buildings and the construction of 375 no. residential units, 3 no. retail units, a café, childcare facility, public open space and all associated site and infrastructural works.

Linear Development: no

Date Uploaded to Portal: 24/07/2019

Regards



EIA Portal team

An Roinn Tithíochta, Pleanála agus Rialtais Áitiúil
Department of Housing, Planning and Local Government

Teach an Chustaim, Baile Átha Cliath 1, D01 W6X0
Custom House, Dublin 1, D01 W6X0

T +353 (0) 1 888 2710

Is faoi rún agus chun úsáide an té nó an aonán atá luaite leis, a sheoltar an ríomhphost seo agus aon comhad atá nasctha leis. Má bhfuair tú an ríomhphost seo trí earráid, déan teagmháil le bhainisteoir an chórais.

Deimhnítear leis an bhfo-nóta seo freisin go bhfuil an teachtaireacht ríomhphoist seo scuabtha le bogearraí frithvíorais chun víorais ríomhaire a aimsiú.

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Letter Ref: CUST17398

Garland,
Riverfront,
Howleys Quay,
Limerick.

01 June 2017

Dear Sir/Madam,

**Re: CUST17398 pre-connection enquiry – Subject to contract |
Contract denied**

**Connection for mixed use developmet (401 domestic, Creche,
Hospital) at site of Magee Barracks, Kildare Town.**

Irish Water has reviewed your pre-connection enquiry in relation to water and wastewater connections at Magee Barracks, Kildare town, Co. Kildare (the **Premises**). Based upon the details you have provided with your pre-connection enquiry and on the capacity currently available as assessed by Irish Water, we wish to advise you that, subject to a valid connection agreement being put in place, your proposed connection to the Irish Water network can be facilitated.

Before completing the design of water/wastewater services infrastructure at the Premises, and prior to submitting any planning application, you are advised to contact Irish Water. Note that surface water should not be discharged via a foul or combined system.

You are advised that this correspondence does not constitute an offer in whole or in part to provide a connection to any Irish Water infrastructure and is provided subject to a connection agreement being signed at a later date.

A connection agreement can be applied for by completing the connection application form available at **www.water.ie/connections**. Irish Water's current charges for water and wastewater connections are set out in the Water Charges Plan as approved by the Commission for Energy Regulation.

If you have any further questions, please contact us on **1850 278 278** or **+353 1 707 2828, 8.00am-4.30pm, Mon-Fri** or email **newconnections@water.ie**. For further information, visit **www.water.ie/connections**

Yours sincerely,

Maria O'Dwyer

Connections and Developer Services

Uisce Éireann
Bosca OP 860
Oifig Sheachadta
na Cathrach Theas
Cathair Chorcaí

Irish Water
PO Box 860
South City
Delivery Office
Cork City

www.water.ie

Columbia Estates Management Limited c/o Ben Mong,
Garland Consulting Engineers,
Garland House,
28-30 Rathmines Park,
Dublin 6

29 May 2019

Uisce Éireann
Bosca OP 448
Oifig Sheachadta
na Cathrach Theas
Cathair Chorcaí

Irish Water
PO Box 448
South City
Delivery Office
Cork City

www.water.ie

Re: Design Submission for Housing Development at Magee Barracks, Dublin Road, Kildare (the “Development”) (the “Design Submission”) / Cust17398/CUSTO182467.

Dear Ben,

Many thanks for your recent Design Submission.

We have reviewed your proposal for the connection(s) at the Development. Based on the information provided, which included the documents outlined in Appendix A to this letter, Irish Water has no objection to your proposals.

This letter does not constitute an offer, in whole or in part, to provide a connection to any Irish Water infrastructure. Before you can connect to our network you must sign a connection agreement with Irish Water. This can be applied for by completing the connection application form at www.water.ie/connections. Irish Water’s current charges for water and wastewater connections are set out in the Water Charges Plan as approved by the Commission for Regulation of Utilities (CRU) (https://www.cru.ie/document_group/irish-waters-water-charges-plan-2018/).

You the Customer (including any designers/contractors or other related parties appointed by you) is entirely responsible for the design and construction of all water and/or wastewater infrastructure within the Development which is necessary to facilitate connection(s) from the boundary of the Development to Irish Water’s network(s) (the “**Self-Lay Works**”), as reflected in your Design Submission. Acceptance of the Design Submission by Irish Water does not, in any way, render Irish Water liable for any elements of the design and/or construction of the Self-Lay Works.

If you have any further questions, please contact your Irish Water Representative

Name: Fionán Ginty
Phone: 01 8925734
Email: fginty@water.ie

Yours sincerely,



Maria O’Dwyer

Connections and Developer Services

Appendix A

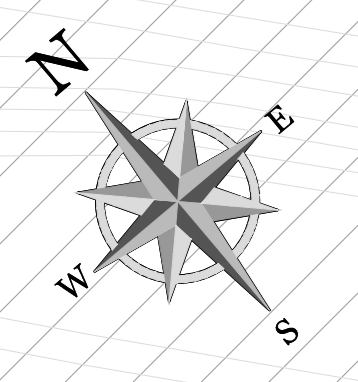
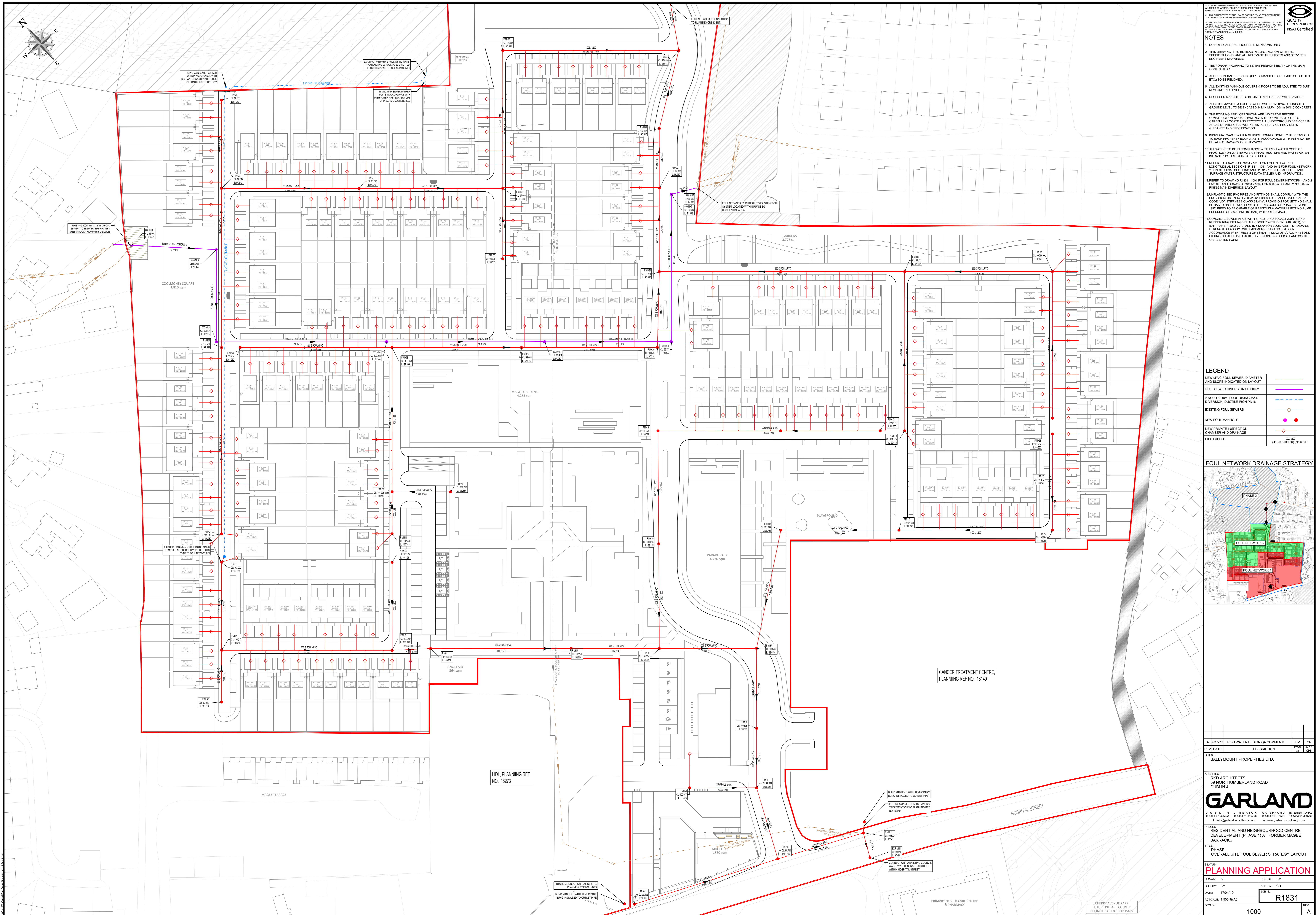
Document Title & Revision

- R1831-1000-A Phase 1 Overall Site Foul Sewer Strategy Layout
- R1831-1001-A Foul Sewer Network 1 and 2 Layout
- R1831-1003-A Phase 1 Water main Layout
- R1831-1010-A Phase 1 Foul Network 1 Longitudinal Sections
- R1831-1012-A Phase 1 Foul Network 2 Longitudinal Sections
- R1831-1015-1st Phase 1 Overall Site Foul Sewer Strategy Layout
- R1831-A0-1st Site Location Layout
- GAR-ISD-101-A Infrastructure Standard Details (WW-03/ WW-04)
- GAR-ISD-104-A Infrastructure Standard Details (WW-12/ WW-13)

Standard Details/Code of Practice Exemption: N/A

For further information, visit www.water.ie/connections

Notwithstanding any matters listed above, the Customer (including any appointed designers/contractors, etc.) is entirely responsible for the design and construction of the Self-Lay Works. Acceptance of the Design Submission by Irish Water will not, in any way, render Irish Water liable for any elements of the design and/or construction of the Self-Lay Works.

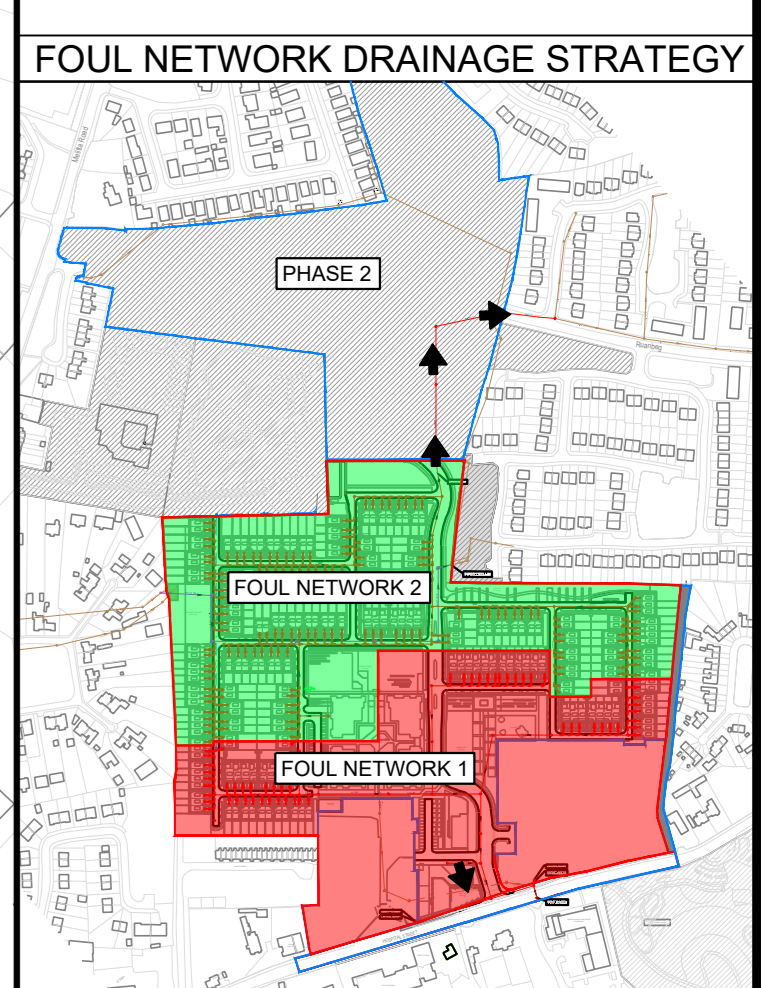


QUALITY
NSAI Certified

- NOTES**
- DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND ALL RELEVANT ARCHITECTS AND SERVICES ENGINEERS DRAWINGS.
 - TEMPORARY PROPPING TO BE THE RESPONSIBILITY OF THE MAIN CONTRACTOR.
 - ALL EXISTING SERVICES (PIPES, MANHOLES, CHAMBERS, GULLIES ETC.) TO BE REMOVED.
 - ALL EXISTING MANHOLE COVERS & ROOFS TO BE ADJUSTED TO SUIT NEW GROUND LEVELS.
 - RECESSED MANHOLES TO BE USED IN ALL AREAS WITH PAVINGS.
 - ALL STORMWATER & FOU SEWERS WITHIN 100mm OF FINISHED GROUND LEVEL TO BE ENCASED IN MINIMUM 100mm 20N TO CONCRETE.
 - THE EXISTING SERVICES SHOWN ARE INDICATIVE BEFORE CONSTRUCTION WORK COMMENCES. THE CONTRACTOR TO CAREFULLY LOCATE AND PROTECT ALL UNDERGROUND SERVICES IN AREAS OF PROPOSED WORKS. AS PER SERVICE PROVIDERS GUIDANCE AND SPECIFICATION.
 - INDIVIDUAL WASTEWATER SERVICE CONNECTIONS TO BE PROVIDED TO EACH PROPERTY BOUNDARY IN ACCORDANCE WITH IRISH WATER DETAILS STD-WW-03 AND STD-WW-13.
 - ALL REFER TO DRAWINGS R1831-1001 FOR FOU NETWORK 1 & 2. LONGITUDINAL SECTIONS R1831-1011 AND 1021 FOR FOU NETWORK 1 & 2. SURFACE WATER STRUCTURE DATA TABLES AND INFORMATION.
 - REFER TO DRAWING R1831-1001 FOR FOU NETWORK 1 AND 2. LAYOUT AND DRAWING R1831-1009 FOR 600mm DIA AND 2 NO. 250mm RISING MAIN DIVERSION LAYOUT.
 - UNPLASTICISED PVC PIPES AND FITTINGS SHALL COMPLY WITH THE PROVISIONS IN EN 1401:2002. PIPES TO BE APPLICATION AREA CODE 'MDF' STIFFNESS CLASS 3. UNFIT PROVISION FOR SETTING SHALL BE BASED ON THE WIRE NUMBER SETTING CODE OF PRACTICE. JUNE 1997. PIPES TO BE CAPABLE OF RESISTING A MAXIMUM SETTING PUMP PRESSURE OF 2.00 MPa (10 BAR) WITH NO DAMAGE.
 - CONCRETE SEWER PIPES WITH SPOUT AND SOCKET JOINTS AND RUBBER RING FITTINGS SHALL COMPLY WITH EN 1916:2002, BS 991 PART 1 (2002-2016) AND BS 1200:2010. ALL PIPES AND FITTINGS SHALL HAVE GASKET TYPE JOINTS OF SPOUT AND SOCKET OR REATED FORM.

LEGEND

NEW UPVC FOU SEWER, DIAMETER AND SLOPE INDICATED ON LAYOUT	
FOUL SEWER DIVERSION Ø 600mm	
2 NO. Ø 50 mm FOU RISING MAIN DIVERSION, DUCTILE IRON PN16	
EXISTING FOU SEWERS	
NEW FOU MANHOLE	
NEW PRIVATE INSPECTION CHAMBER AND DRAINAGE	
PIPE LABELS	



REV	DATE	DESCRIPTION	BY	CHK	CR
A	20/05/16	IRISH WATER DESIGN QA COMMENTS	BM		CR
			DWVS		CR

CLIENT: BALLYMOUNT PROPERTIES LTD.

ARCHITECT: PRCD ARCHITECTS, 59 NORTHUMBERLAND ROAD, DUBLIN 4

GARLAND
DUBLIN WATERFORD INTERNATIONAL
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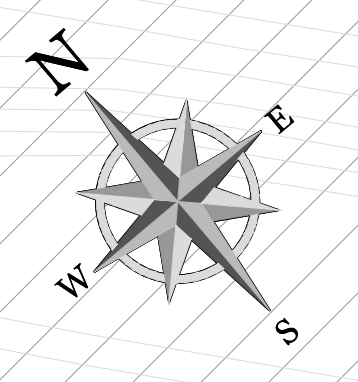
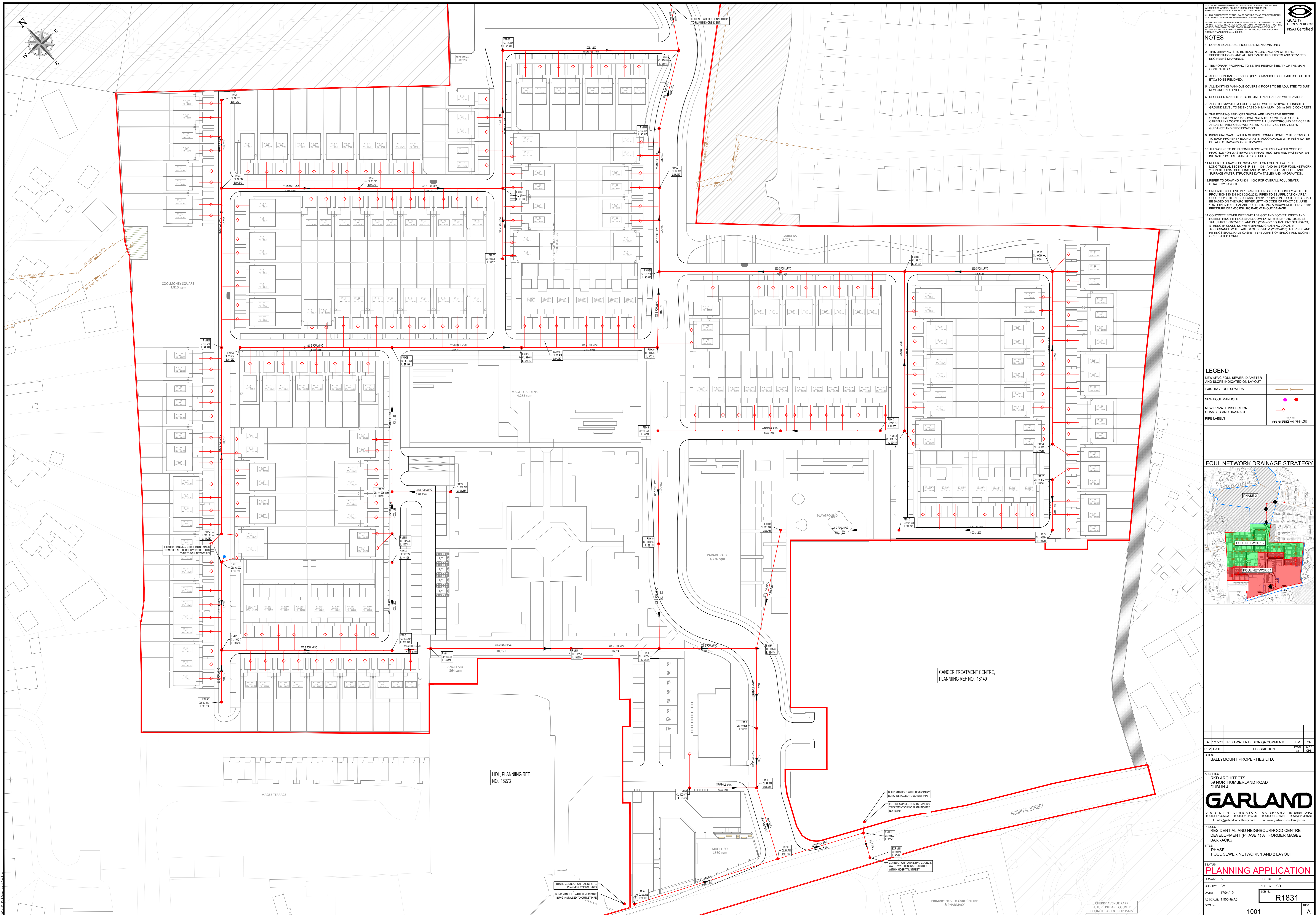
PROJECT: RESIDENTIAL AND NEIGHBOURHOOD CENTRE DEVELOPMENT (PHASE 1) AT FORMER MAGEE BARRACKS

TITLE: PHASE 1 OVERALL SITE FOU SEWER STRATEGY LAYOUT

STATUS: **PLANNING APPLICATION**

DRAWN: SL	DES. BY: BM
CHK. BY: BM	APP. BY: CR
DATE: 17/04/19	JOB NO.
AD SCALE: 1:500 @ A0	R1831
DRG. No.	REV.

1000 A

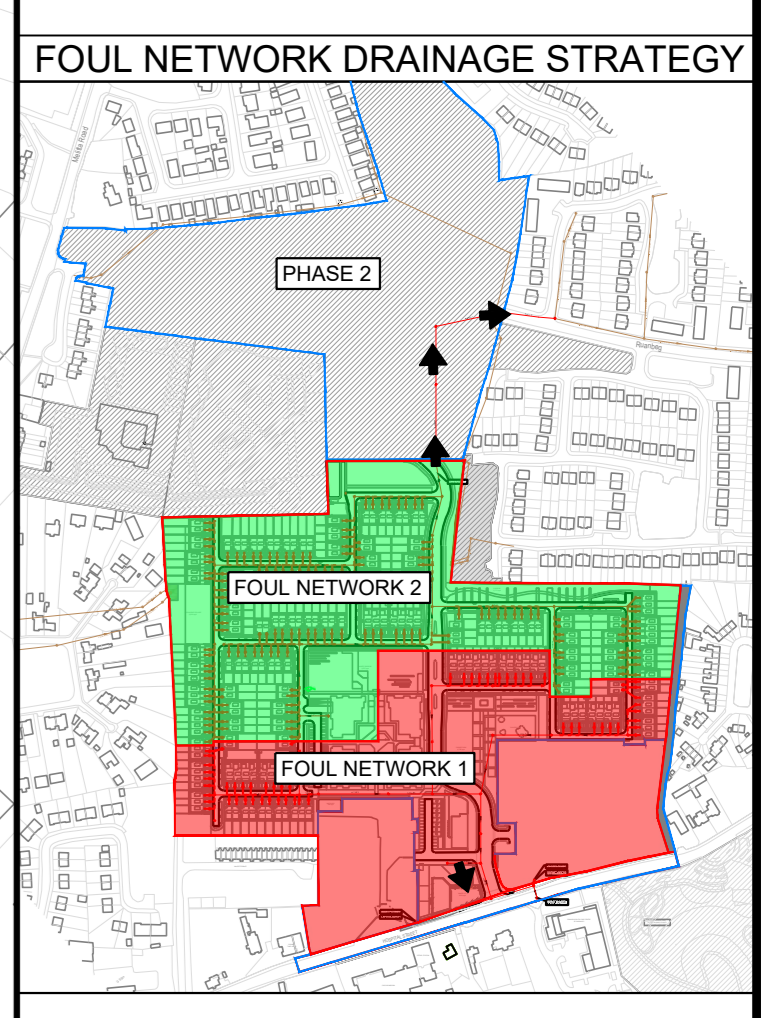


QUALITY
NSAI Certified

- NOTES**
- DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND ALL RELEVANT ARCHITECTS AND SERVICES ENGINEERS DRAWINGS.
 - TEMPORARY PROPPING TO BE THE RESPONSIBILITY OF THE MAIN CONTRACTOR.
 - ALL REDUNDANT SERVICES (PIPES, MANHOLES, CHAMBERS, GULLIES ETC.) TO BE REMOVED.
 - ALL EXISTING MANHOLE COVERS & ROOFS TO BE ADJUSTED TO SUIT NEW GROUND LEVELS.
 - RECESSED MANHOLES TO BE USED IN ALL AREAS WITH FINISHES.
 - ALL STORMWATER & FOUL SEWERS WITHIN 100mm OF FINISHED GROUND LEVEL TO BE ENCASED IN MINIMUM 100mm CONCRETE.
 - THE EXISTING SERVICES SHOWN ARE INDICATIVE BEFORE CONSTRUCTION WORK COMMENCES. THE CONTRACTOR TO CAREFULLY LOCATE AND PROTECT ALL UNDERGROUND SERVICES IN AREAS OF PROPOSED WORKS, AS PER SERVICE PROVIDERS GUIDANCE AND SPECIFICATION.
 - INDIVIDUAL WASTEWATER SERVICE CONNECTIONS TO BE PROVIDED TO EACH PROPERTY BOUNDARY IN ACCORDANCE WITH IRISH WATER DETAILS STD-WW-03 AND STD-WW-13.
 - ALL WORKS TO BE IN COMPLIANCE WITH IRISH WATER CODE OF PRACTICE FOR WASTEWATER INFRASTRUCTURE AND WASTEWATER INFRASTRUCTURE STANDARD DETAILS.
 - REFER TO DRAWINGS R181 - 1010 FOR FOUL NETWORK 1 LONGITUDINAL SECTIONS, R181 - 1011 AND 1012 FOR FOUL NETWORK 2 LONGITUDINAL SECTIONS AND R181 - 1013 FOR ALL FOUL AND SURFACE WATER STRUCTURE DATA TABLES AND INFORMATION.
 - REFER TO DRAWING R181 - 1000 FOR OVERALL FOUL SEWER STRATEGY OF LAYOUT.
 - UNLESS SPECIFIED PVC PIPES AND FITTINGS SHALL COMPLY WITH THE PROVISIONS IN EN 1401:2000/2012. PIPES TO BE APPLICATION AREA CODE 'S2' STRENGTH CLASS BAWN. PRESSURE RATING SHALL BE BASED ON THE WRC SEWER JETTING CODE OF PRACTICE, JUNE 1997. PIPES TO BE CAPABLE OF RESISTING A MAXIMUM JETTING PUMP PRESSURE OF 2,000 PSI (138 BAR) WITHOUT DAMAGE.
 - CONCRETE SEWER PIPES WITH SPIGOT AND SOCKET JOINTS AND RUBBER RING FITTINGS SHALL COMPLY WITH EN 1916:2002, BS 5911 PART 1 (2002:2010) AND IS 12004 OR EQUIVALENT STANDARD, STRENGTH CLASS 'S2' WITH MAXIMUM CRACKING LOADS IN ACCORDANCE WITH TABLE 8 OF BS 5911:1 (2002:2010). ALL PIPES AND FITTINGS SHALL HAVE GASKET TYPE JOINTS OF SPIGOT AND SOCKET OR REBATED FORM.

LEGEND

NEW UPVC FOUL SEWER, DIAMETER AND SLOPE INDICATED ON LAYOUT	
EXISTING FOUL SEWERS	
NEW FOUL MANHOLE	
NEW PRIVATE INSPECTION CHAMBER AND DRAINAGE	
PIPE LABELS	REFER TO DRAWING R181-1000



REV	DATE	DESCRIPTION	DWG	APP'D	CR
A	17/04/19	IRISH WATER DESIGN QA COMMENTS	BM		CR

ARCHITECT:
PRCD ARCHITECTS
59 NORTHUMBERLAND ROAD
DUBLIN 4

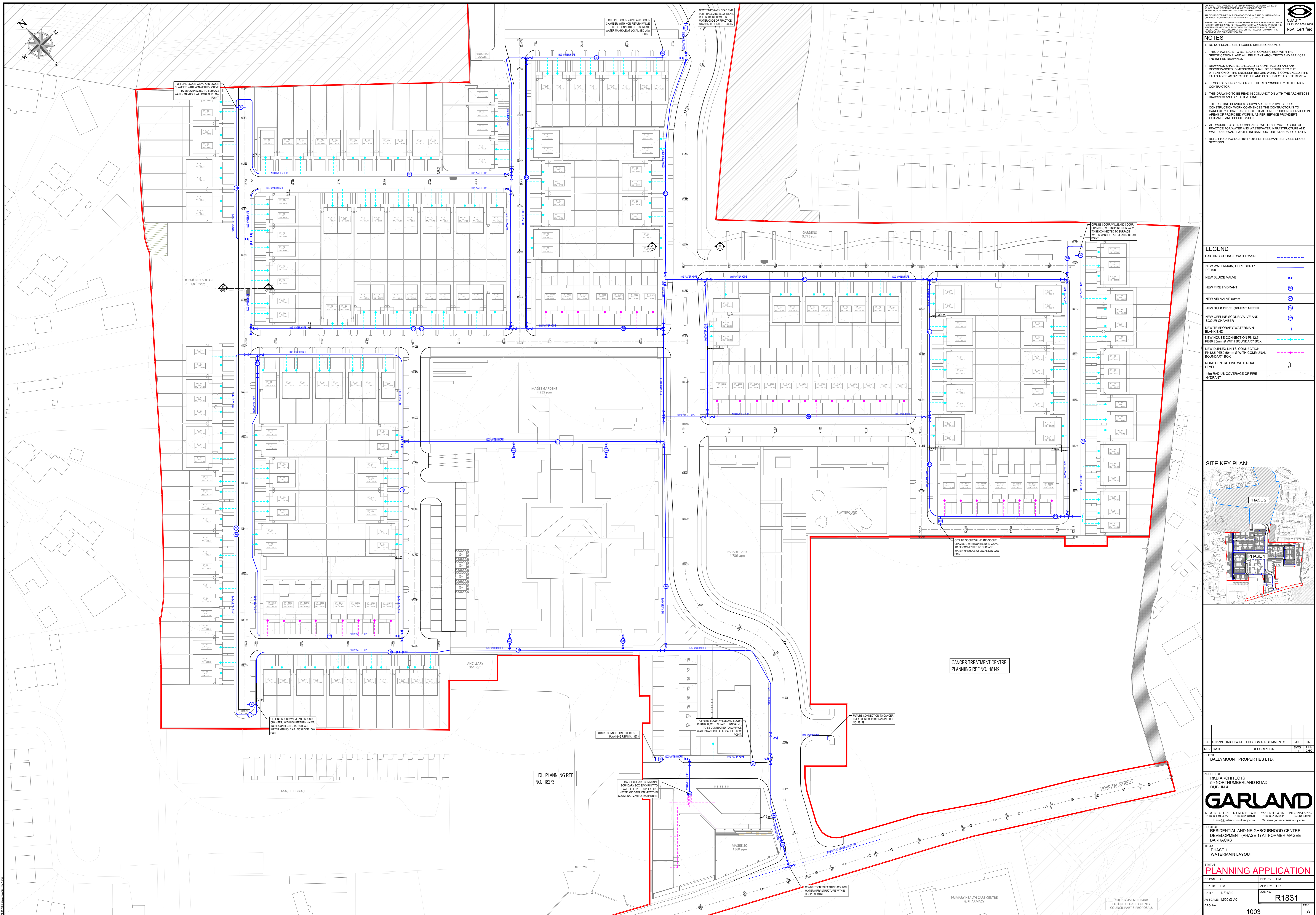
GARLAND
DUBLIN LIMERICK WATERFORD INTERNATIONAL
T: +353 1 4046420 F: +353 1 310780 T: +353 1 818111 T: +353 1 310780
E: info@garlandconsultancy.com W: www.garlandconsultancy.com

PROJECT:
RESIDENTIAL AND NEIGHBOURHOOD CENTRE
DEVELOPMENT (PHASE 1) AT FORMER MAGEE
BARRACKS

TITLE:
PHASE 1
FOUL SEWER NETWORK 1 AND 2 LAYOUT

PLANNING APPLICATION

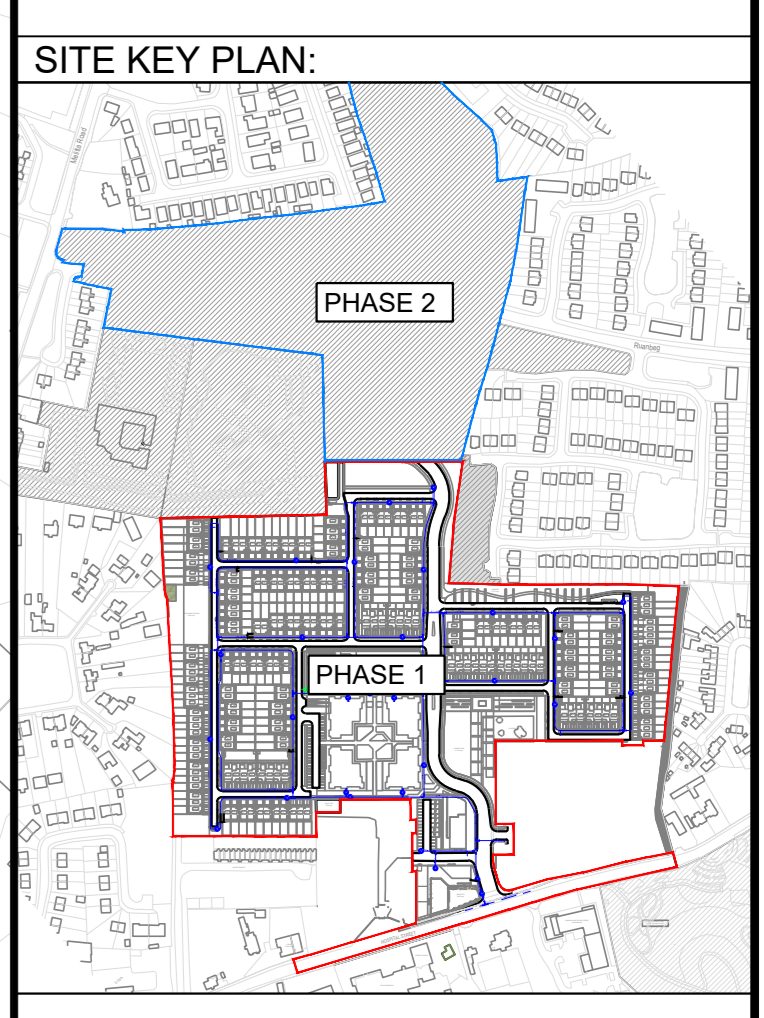
STATUS:	DESIGN	DESIGNER:	BM
DRAWN BY:	SL	APP'D BY:	CR
CHECKED BY:	BM	APP'D BY:	CR
DATE:	17/04/19	JOB NO.:	R1831
AD SCALE:	1:500 @ A0	DRG NO.:	1001



- NOTES**
- DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND ALL RELEVANT ARCHITECTS AND SERVICES ENGINEERS DRAWINGS.
 - DRAWINGS SHALL BE CHECKED BY CONTRACTOR AND ANY DISCREPANCIES (DIMENSIONS) SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE WORK IS COMMENCED. PIPE FALLS TO BE AS SPECIFIED. ILS AND CLS SUBJECT TO SITE REVIEW.
 - TEMPORARY PROPPING TO BE THE RESPONSIBILITY OF THE MAIN CONTRACTOR.
 - THIS DRAWING TO BE READ IN CONJUNCTION WITH THE ARCHITECTS DRAWINGS AND SPECIFICATIONS.
 - THE EXISTING SERVICES SHOWN ARE INDICATIVE BEFORE CONSTRUCTION WORK COMMENCES. THE CONTRACTOR IS TO CAREFULLY LOCATE AND PROTECT ALL UNDERGROUND SERVICES IN AREAS OF PROPOSED WORKING, AS PER SERVICE PROVIDERS GUIDANCE AND SPECIFICATION.
 - ALL WORKS TO BE IN COMPLIANCE WITH IRISH WATER CODE OF PRACTICE FOR WATER AND WASTEWATER INFRASTRUCTURE AND WATER AND WASTEWATER INFRASTRUCTURE STANDARDS DETAILS.
 - REFER TO DRAWING R1831-1008 FOR RELEVANT SERVICES CROSS SECTIONS.

LEGEND

EXISTING COUNCIL WATERMAIN	---
NEW WATERMAIN, HDPE SDR17 PIPE	---
NEW SLUICE VALVE	⊕
NEW FIRE HYDRANT	⊙
NEW AIR VALVE 50mm	⊙
NEW BULK DEVELOPMENT METER	⊙
NEW OFFLINE SCOUR VALVE AND SCOUR CHAMBER	⊙
NEW TEMPORARY WATERMAIN BLANK END	---
NEW HOUSE CONNECTION PN12.5 PER 25mm Ø WITH BOUNDARY BOX	---
NEW DUPLEX UNITS' CONNECTION PN12.5 PER 50mm Ø WITH COMMUNAL BOUNDARY BOX	---
ROAD CENTRE LINE WITH ROAD LEVEL	---
40m RADIUS COVERAGE OF FIRE HYDRANT	---



REV	DATE	DESCRIPTION	DWG	APP	CHK
A	17/05/18	IRISH WATER DESIGN QA COMMENTS	JC	JN	

ARCHITECT:
RFD ARCHITECTS
59 NORTHUMBERLAND ROAD
DUBLIN 4

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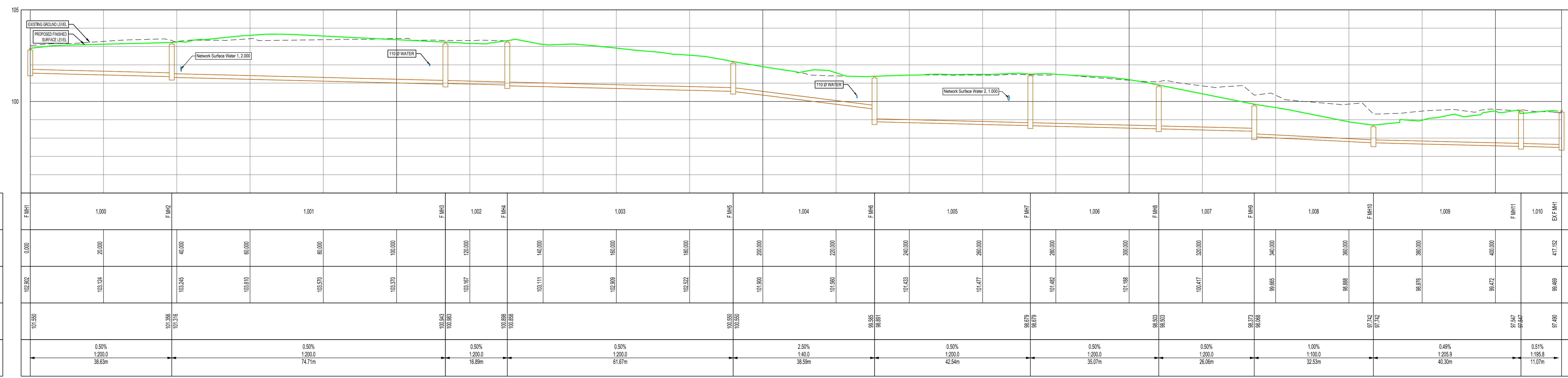
PROJECT:
RESIDENTIAL AND NEIGHBOURHOOD CENTRE
DEVELOPMENT (PHASE 1) AT FORMER MAGEE
BARRACKS

TITLE:
PHASE 1
WATERMAIN LAYOUT

STATUS:
PLANNING APPLICATION

DRAWN: SL	DES. BY: BM
CHK. BY: BM	APP. BY: CR
DATE: 17/04/19	JOB No:
AS SCALE: 1:500 @ A0	R1831
DRG. No:	REV. A

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 - REFER TO DRAWING R1831-1001 FOR PHASE 1 FOUL NETWORK 1 AND LAYOUT.
 - ALL EXISTING MANHOLE COVERS & ROOFS TO BE ADJUSTED TO SUIT NEW GROUND LEVELS.
 - RECESSED MANHOLES TO BE USED IN ALL AREAS WITH PAVERS.
 - ALL SURFACE WATER & FOUL SEWERS WITHIN 100mm OF FINISHED GROUND LEVEL TO BE ENCASED IN MINIMUM 100mm 20MPa CONCRETE.
 - ALL WORKS TO BE IN COMPLIANCE WITH IRISH WATER CODE OF PRACTICE FOR WASTEWATER INFRASTRUCTURE AND WASTEWATER INFRASTRUCTURE STANDARD DETAILS.

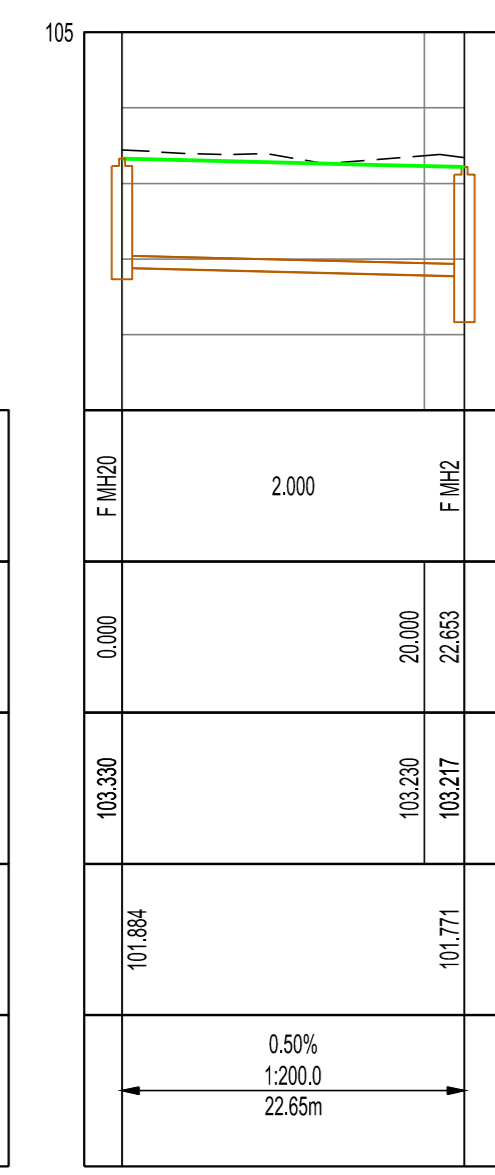


LONGSECTION F MH1 TO EX F MH1
FROM 0.000 TO 418.064

SCALES:
Horizontal 1:500
Vertical 1:100

DATUM 95.000

REFERENCE	F.MH1	1.000	F.MH2	1.001	
DISTANCE (m)	0.000	20.000	40.000	60.000	
GROUND LEVEL	102.802	102.824	102.845	102.855	
PIPE INVERT LEVEL	97.526	97.546	97.576		
SLOPE / LENGTH	0.50% 1,200.0 34.57m		0.50% 1,200.0 74.71m		

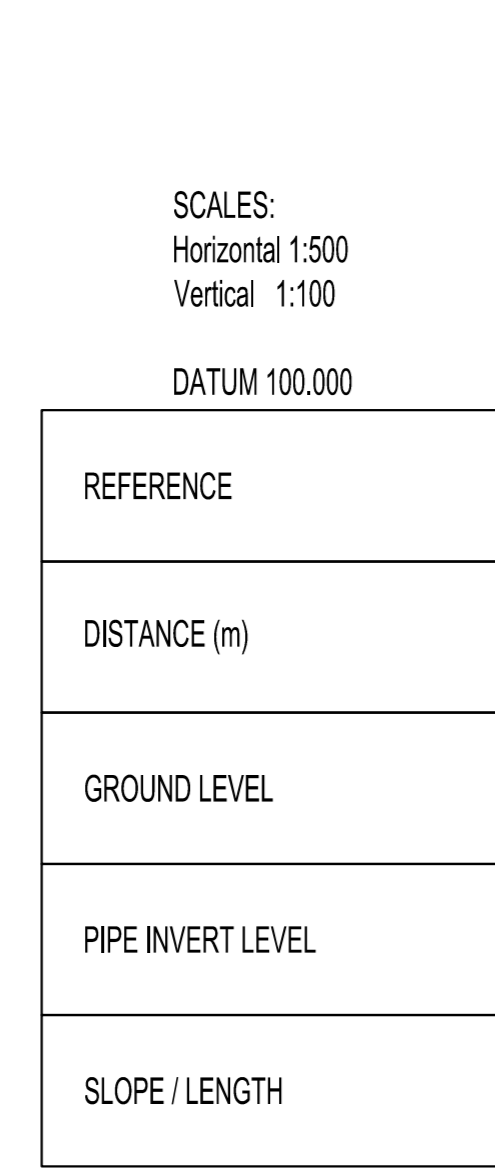


LONGSECTION F.MH20 TO F.MH2
FROM 0.000 TO 22.653

SCALES:
Horizontal 1:500
Vertical 1:100

DATUM 100.000

REFERENCE	F.MH20	2.000	F.MH2
DISTANCE (m)	0.000	20.000	22.653
GROUND LEVEL	103.330	103.330	103.247
PIPE INVERT LEVEL	101.684		101.771
SLOPE / LENGTH	0.50% 1,200.0 22.65m		

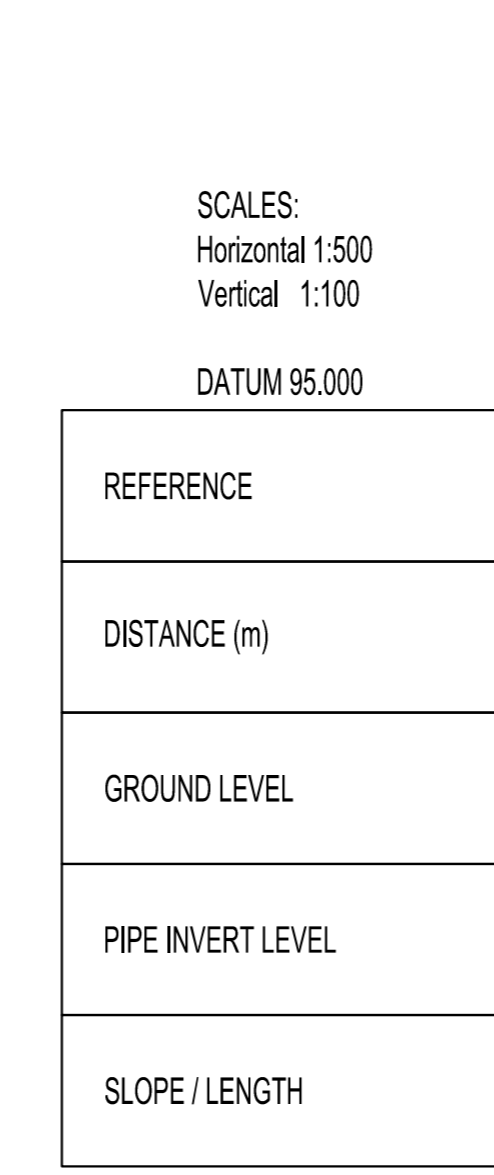


LONGSECTION F.MH2 TO F.MH3
FROM 0.000 TO 38.651

SCALES:
Horizontal 1:500
Vertical 1:100

DATUM 100.000

REFERENCE	F.MH2	3.000	F.MH3
DISTANCE (m)	0.000	20.000	38.651
GROUND LEVEL	102.812	102.813	102.827
PIPE INVERT LEVEL	101.126		101.841
SLOPE / LENGTH	0.50% 1,200.0 38.65m		



LONGSECTION F.MH7 TO F.MH6
FROM 0.000 TO 192.833

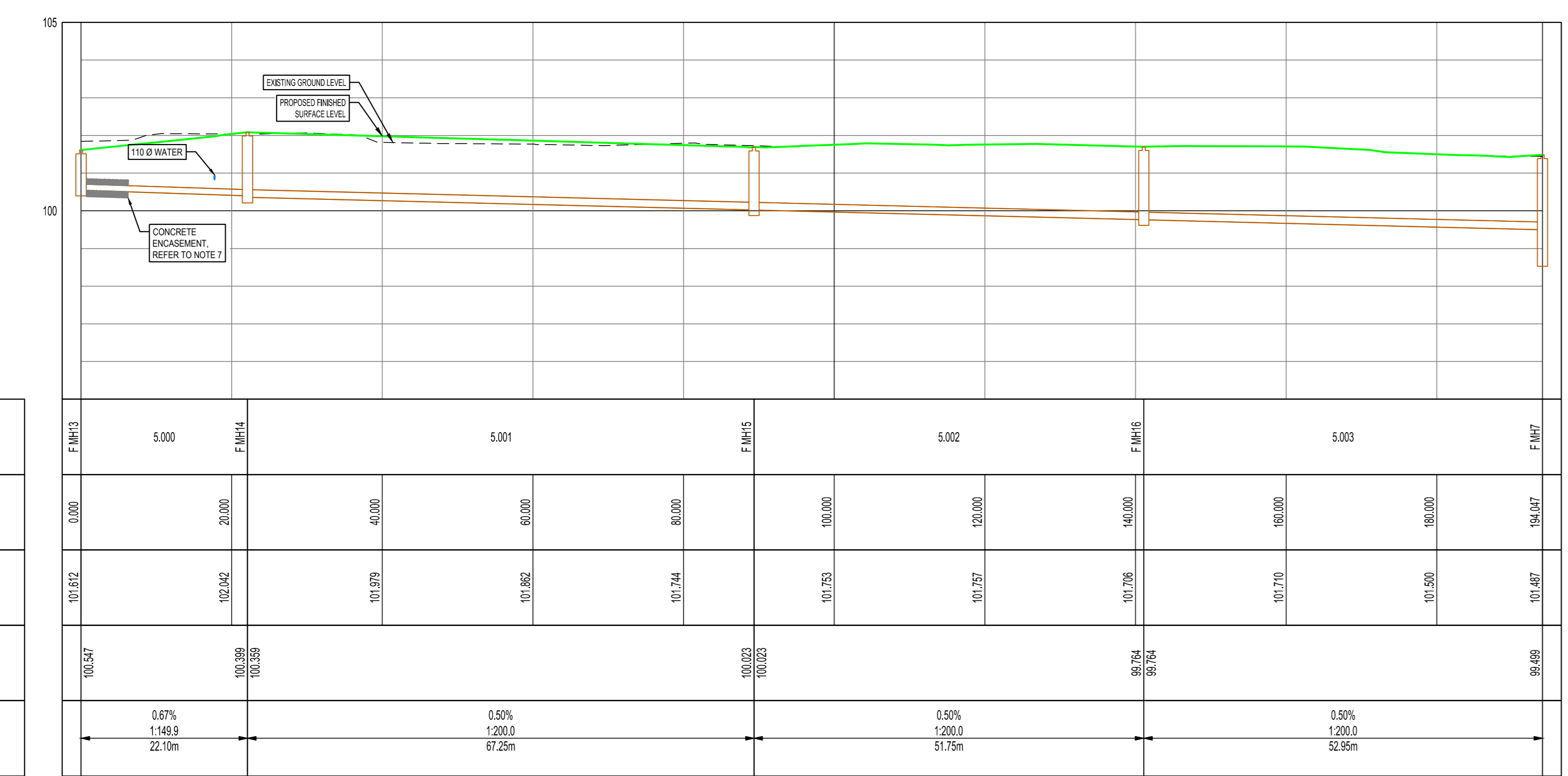
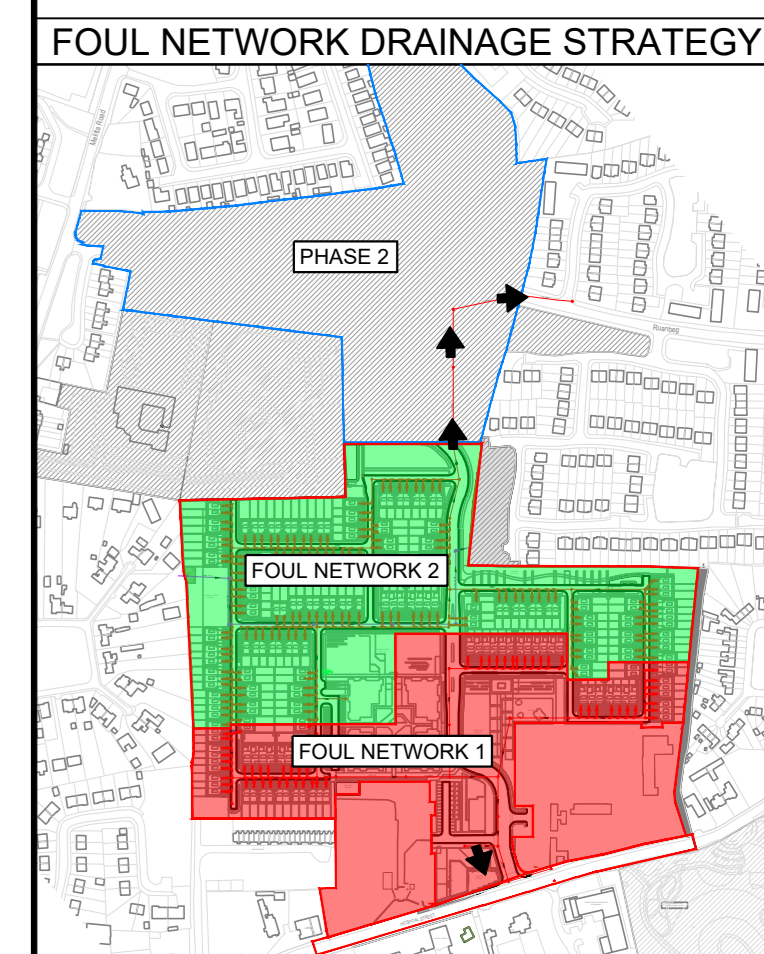
SCALES:
Horizontal 1:500
Vertical 1:100

DATUM 95.000

REFERENCE	F.MH7	4.001	F.MH6
DISTANCE (m)	0.000	20.000	192.833
GROUND LEVEL	101.295	101.241	101.274
PIPE INVERT LEVEL	98.856		98.891
SLOPE / LENGTH	0.50% 1,200.0 45.56m		

LEGEND

EXISTING GROUND LEVEL	---
PROPOSED FINISHED SURFACE LEVEL	---

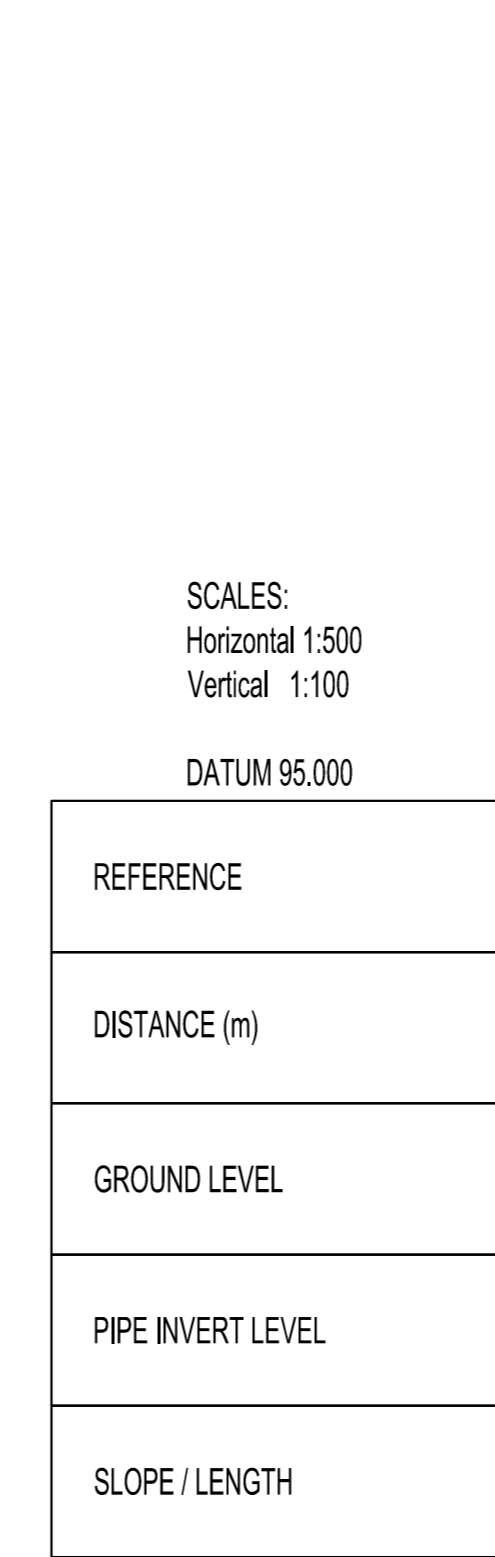


LONGSECTION F.MH13 TO F.MH7
FROM 0.000 TO 194.047

SCALES:
Horizontal 1:500
Vertical 1:100

DATUM 95.000

REFERENCE	F.MH13	5.000	F.MH14	5.001	
DISTANCE (m)	0.000	20.000	40.000	60.000	
GROUND LEVEL	102.847	102.842	102.873	102.885	
PIPE INVERT LEVEL	100.247	100.300	100.329		
SLOPE / LENGTH	0.67% 1,149.0 22.70m		0.50% 1,200.0 67.25m		

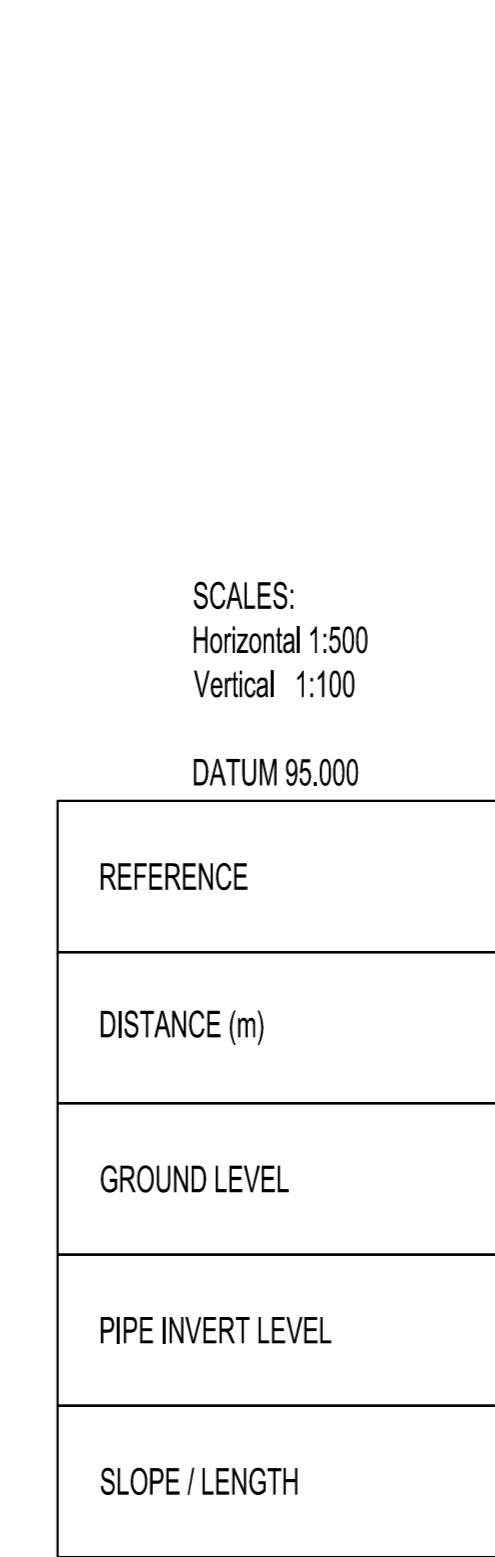


LONGSECTION F.MH8 TO F.MH9
FROM 0.000 TO 29.329

SCALES:
Horizontal 1:500
Vertical 1:100

DATUM 95.000

REFERENCE	F.MH8	6.000	F.MH9
DISTANCE (m)	0.000	20.000	29.329
GROUND LEVEL	100.077	102.246	98.085
PIPE INVERT LEVEL	96.415		96.323
SLOPE / LENGTH	0.50% 1,200.0 29.33m		



LONGSECTION F.MH4 TO F.MH10
FROM 0.000 TO 65.851

SCALES:
Horizontal 1:500
Vertical 1:100

DATUM 95.000

REFERENCE	F.MH4	7.000	F.MH10
DISTANCE (m)	0.000	20.000	65.851
GROUND LEVEL	98.045	98.252	98.072
PIPE INVERT LEVEL	96.008		97.671
SLOPE / LENGTH	0.50% 1,200.0 65.85m		

NO.	DATE	DESCRIPTION	BY	CHECK
A	17/04/19	IRISH WATER DESIGN QA COMMENTS	JC	BM

CLIENT: BALLYMOUNT PROPERTIES LTD.

ARCHITECT: RKD ARCHITECTS
59 NORTHUMBERLAND ROAD
DUBLIN 4

GARLAND
DUBLIN LIMERICK WATERFORD INTERNATIONAL
T: +353 1 4044202 F: +353 81 319708 T: +353 81 876511 F: +353 81 319748
E: info@garlandconsultancy.com W: www.garlandconsultancy.com

PROJECT: RESIDENTIAL AND NEIGHBOURHOOD CENTRE DEVELOPMENT (PHASE 1) AT FORMER MAGEE BARRACKS

TITLE: PHASE 1 FOUL NETWORK 1 LONGITUDINAL SECTIONS

DATE: 17/04/19

AS SCALE: 1:500

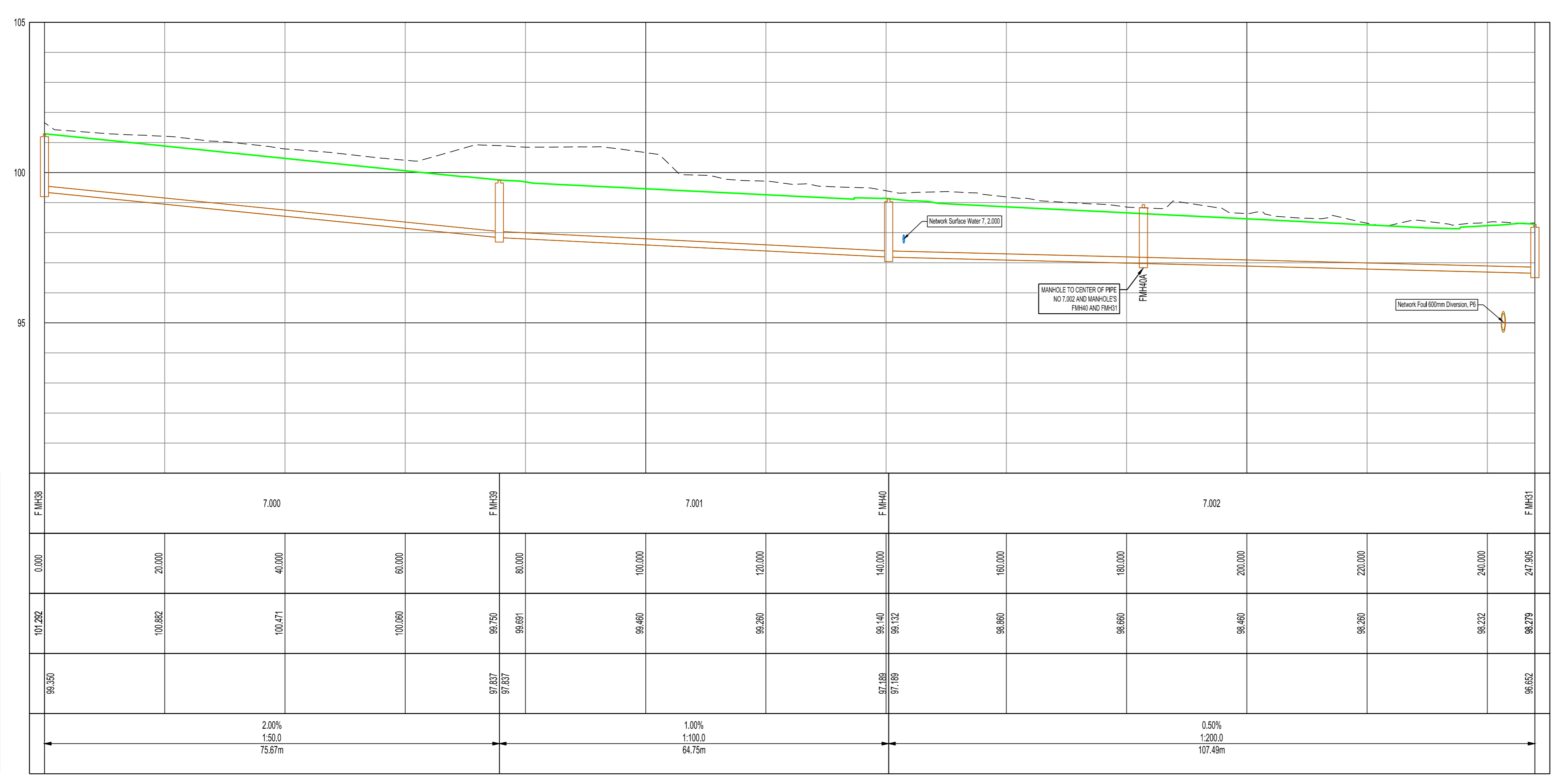
REV. No. 1010

PLANNING APPLICATION

R1831

1010

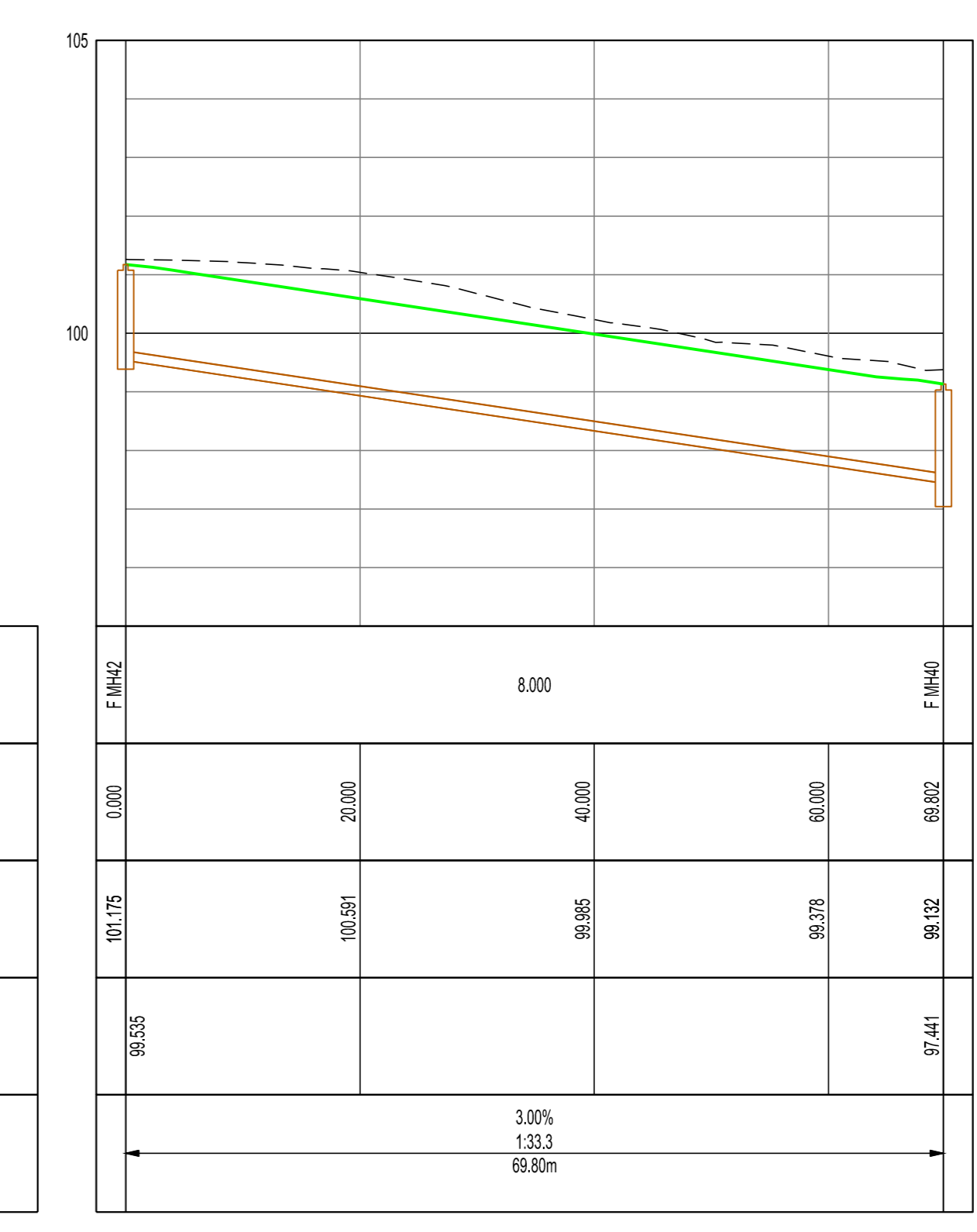
- NOTES**
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 - TEMPORARY PROPPING TO BE THE RESPONSIBILITY OF THE MAIN CONTRACTOR.
 - REFER TO DRAWING R1811 - 1001 FOR PHASE 1 FOUL NETWORK 1 AND 2 LAYOUT.
 - ALL EXISTING MANHOLE COVERS & ROOFS TO BE ADJUSTED TO SUIT NEW GROUND LEVELS.
 - RECESSED MANHOLES TO BE USED IN ALL AREAS WITH PAVERS.
 - ALL SURFACE WATER & FOUL SEWERS WITHIN 1200mm OF FINISHED GROUND LEVEL TO BE ENCASED IN MINIMUM 200mm 20/10 CONCRETE.
 - ALL WORKS TO BE IN COMPLIANCE WITH IRISH WATER CODE OF PRACTICE FOR WASTEWATER INFRASTRUCTURE AND WASTEWATER INFRASTRUCTURE STANDARD DETAILS.



LONGSECTION F MH38 TO F MH31
FROM 0.000 TO 247.955

SCALES:
Horizontal 1:500
Vertical 1:100
DATUM 90.000

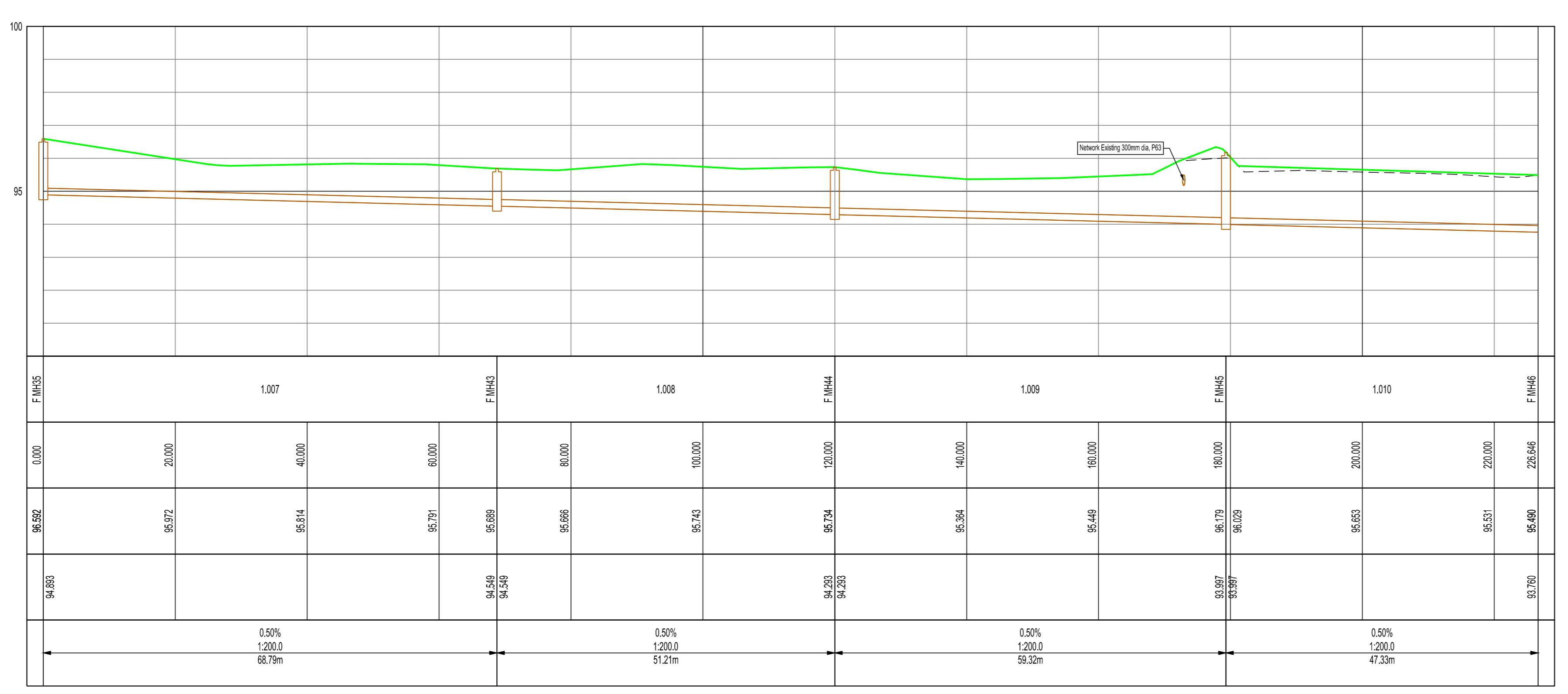
REFERENCE	F MH38	7.000	F MH35	7.001	F MH34	7.002	F MH31
DISTANCE (m)	0.000	20.000	40.000	60.000	80.000	100.000	120.000
GROUND LEVEL	107.926	107.982	107.471	107.296	99.730	99.691	98.460
PIPE INVERT LEVEL	98.324			97.937	97.939		97.188
SLOPE / LENGTH		2.20% 75.67m			1.00% 64.75m		0.50% 107.49m



LONGSECTION F MH42 TO F MH40
FROM 0.000 TO 68.802

SCALES:
Horizontal 1:500
Vertical 1:100
DATUM 95.000

REFERENCE	F MH42	8.000	F MH40
DISTANCE (m)	0.000	20.000	40.000
GROUND LEVEL	107.175	107.591	99.845
PIPE INVERT LEVEL	98.535		97.141
SLOPE / LENGTH		3.00% 68.80m	



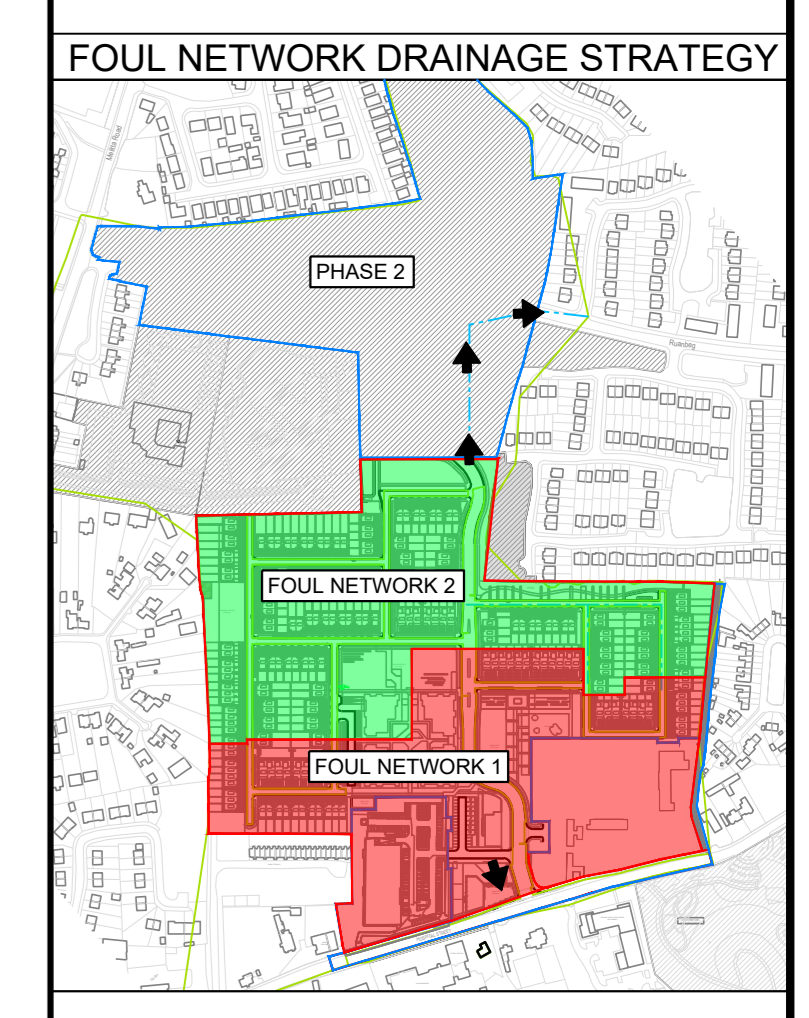
LONGSECTION F MH45 TO F MH46
FROM 0.000 TO 226.646

SCALES:
Horizontal 1:500
Vertical 1:100
DATUM 90.000

REFERENCE	F MH45	1.007	F MH44	1.008	F MH43	1.010	F MH46
DISTANCE (m)	0.000	20.000	40.000	60.000	80.000	100.000	120.000
GROUND LEVEL	96.492	96.973	96.814	95.791	95.899	95.698	95.142
PIPE INVERT LEVEL	94.889			94.545	94.524		94.293
SLOPE / LENGTH		0.50% 1,200.0 88.78m			0.50% 1,200.0 51.2m		0.50% 1,200.0 47.33m

LEGEND

EXISTING GROUND LEVEL	---
PROPOSED FINISHED SURFACE LEVEL	---



REV	DATE	DESCRIPTION	DWG	APP
A	17/04/19	IRISH WATER DESIGN QA COMMENTS	JC	BM

CLIENT: BALLYMOUNT PROPERTIES LTD.

ARCHITECT:
RKD ARCHITECTS
58 NORTHUMBERLAND ROAD
DUBLIN 4

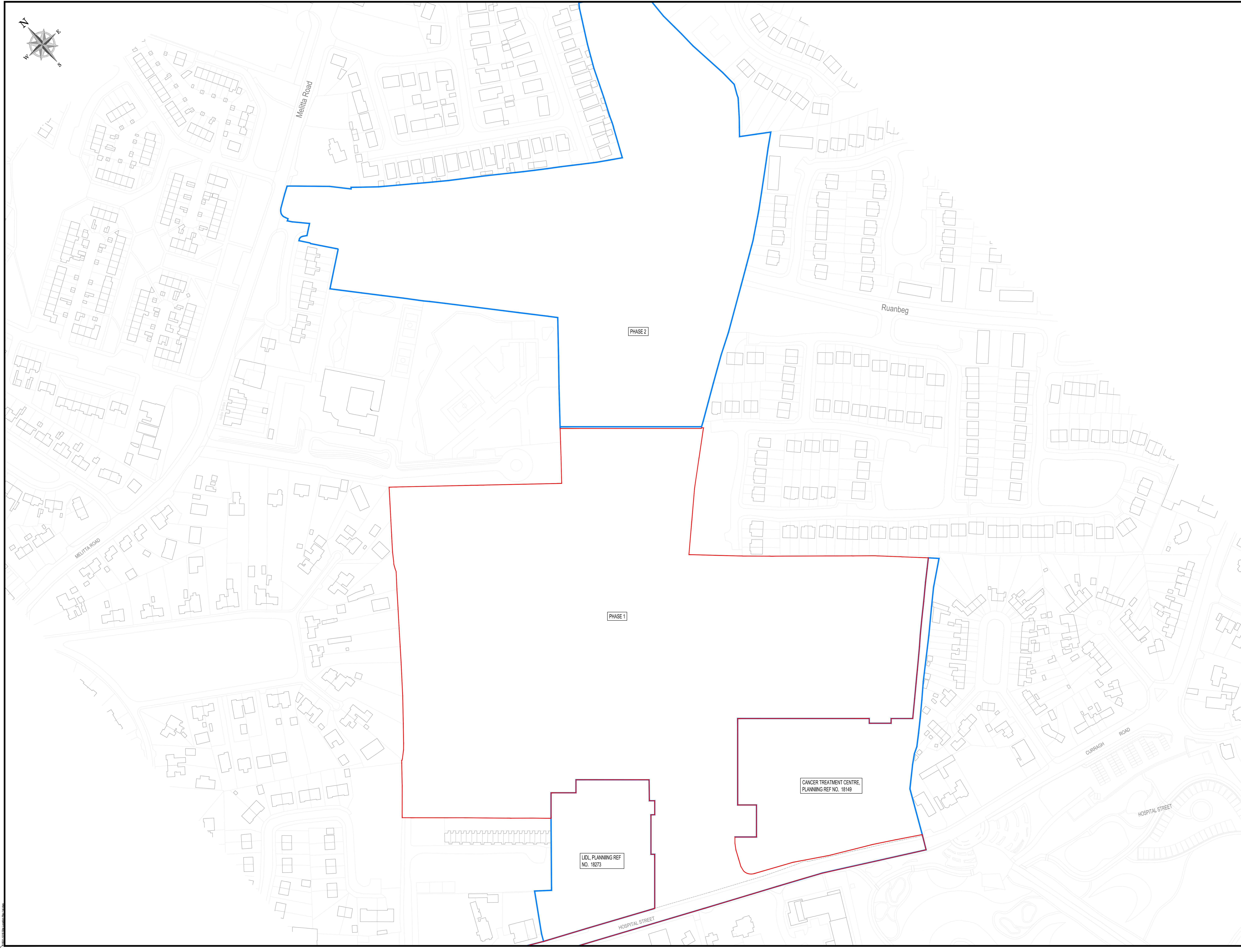
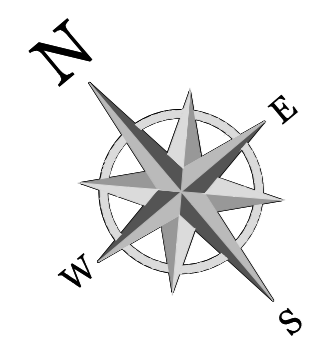
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PROJECT:
RESIDENTIAL AND NEIGHBOURHOOD CENTRE
DEVELOPMENT (PHASE 1) AT FORMER MAGEE
BARRACKS

TITLE:
PHASE 1
FOUL NETWORK 2
LONGITUDINAL SECTIONS (SHEET 2 OF 2)

STATUS:
PLANNING APPLICATION

DRAWN: SL DES: BM
CHK: BY: BM APP: BY: CR
DATE: 17/04/19 JOB No:
AS SCALE: 1:500 @ A0 **R1831**
REV: A



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NOTES

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REV	DATE	DESCRIPTION	DWG	APP

CLIENT: BALLYMOUNT PROPERTIES LTD.

ARCHITECT: RKD ARCHITECTS
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 DUBLIN 4

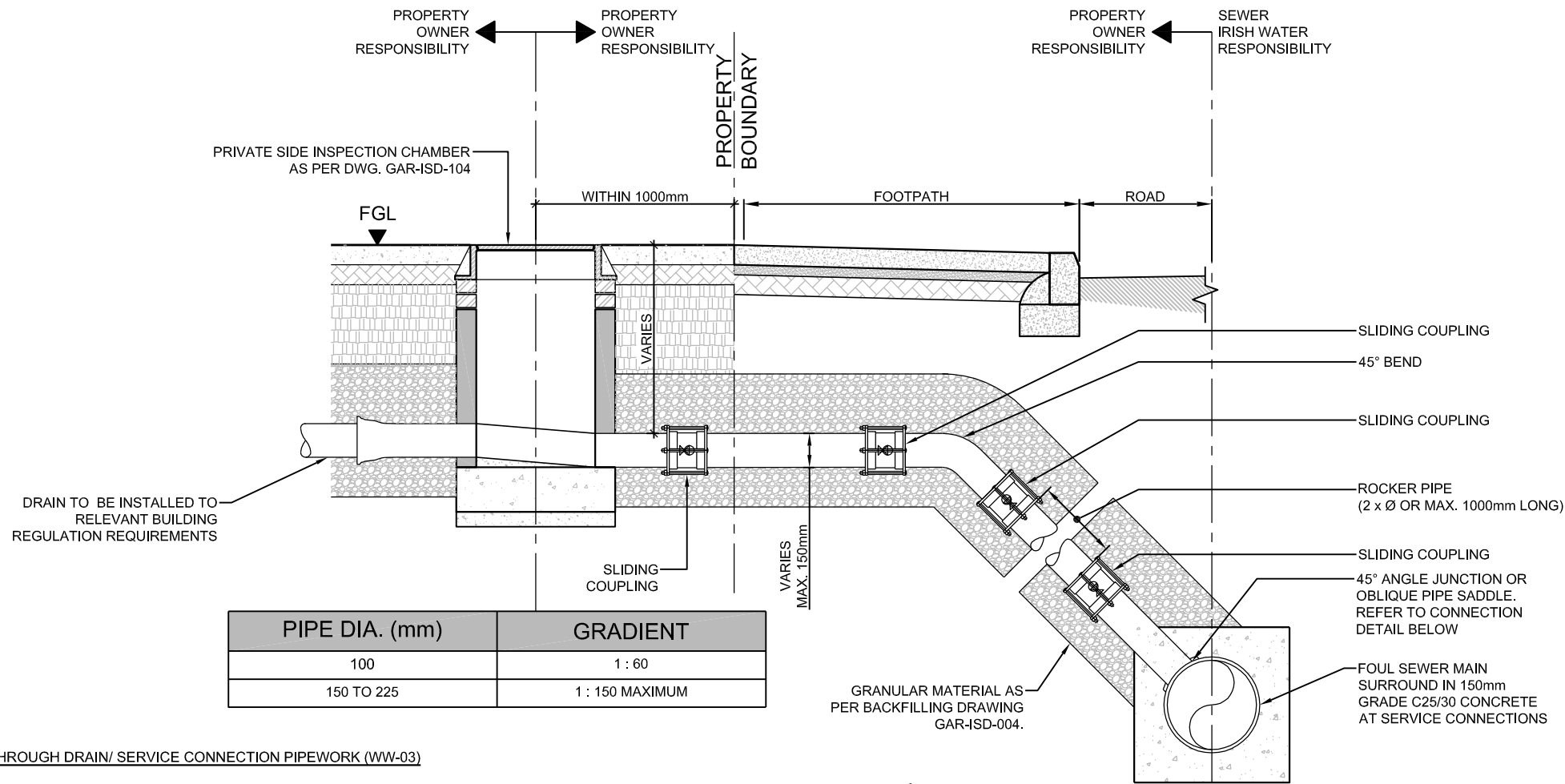
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PROJECT: RESIDENTIAL AND NEIGHBOURHOOD CENTRE
 DEVELOPMENT (PHASE 1) AT FORMER MAGEE
 BARRACKS

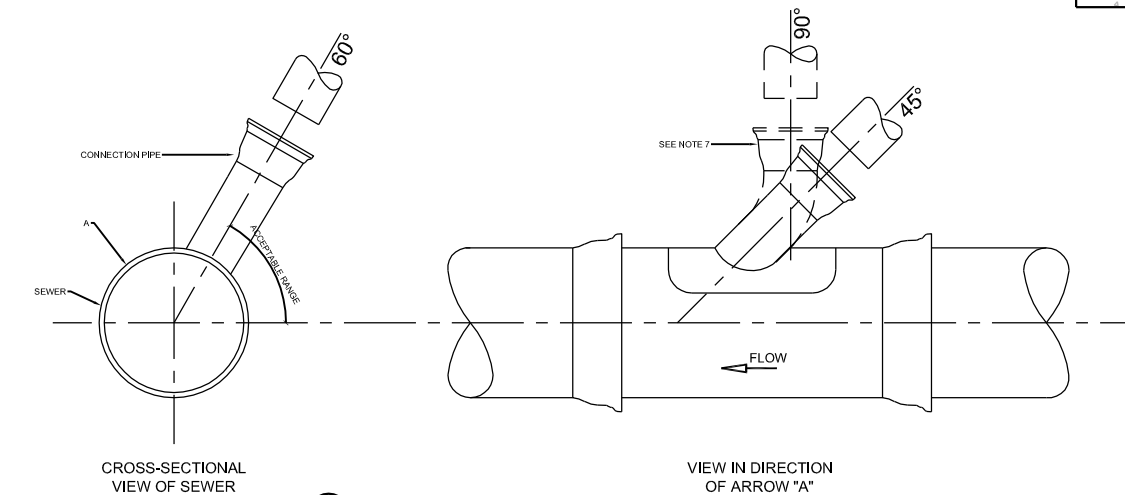
TITLE: SITE LOCATION LAYOUT

STATUS: **FOR INFORMATION**

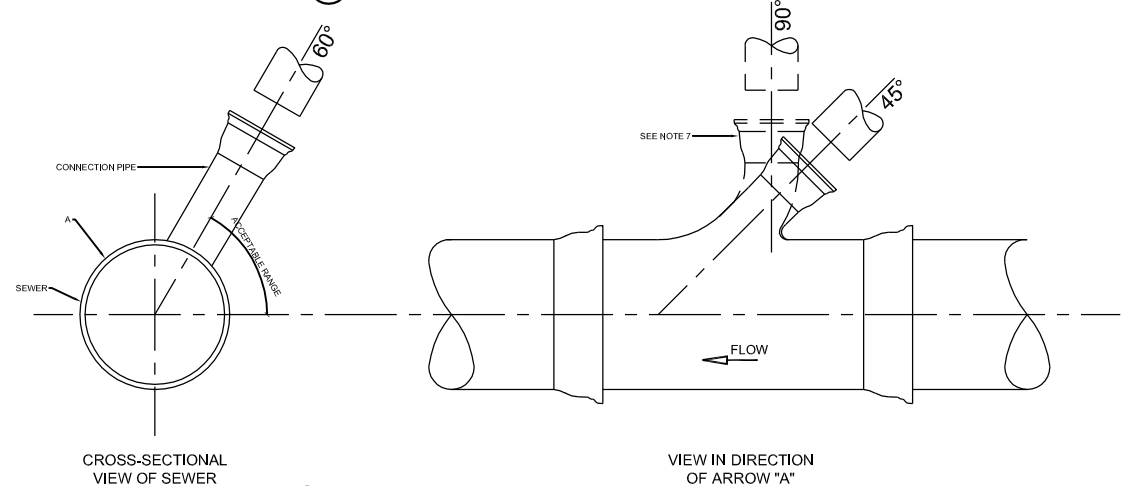
DRAWN: SL DES. BY: EM
 CHK. BY: BM APP. BY: CR
 DATE: 17/04/19 JOB NO.:
 ADSCALE: 1:1000 **R1831**
 DRG. NO.: A0 REV: 1st



TYPICAL SECTION THROUGH DRAIN/ SERVICE CONNECTION PIPEWORK (WW-03)
SCALE N.T.S



APPROVED 45° SADDLE CONNECTION
SCALE N.T.S



45° JUNCTION CONNECTION
SCALE N.T.S

TYPICAL SEWER/ SERVICE PIPE CONNECTION (WW-04)
SCALE N.T.S

DETAIL NOTES

- DRAIN AND SERVICE CONNECTIONS (WW-003)**
1. AN INSPECTION CHAMBER SHOULD BE LOCATED AT OR WITHIN 1m OF THE PROPERTY BOUNDARY AT THE UPSTREAM END OF EACH SERVICE CONNECTION ON THE PRIVATE SIDE OF THE CURTILAGE. IF PRACTICABLE, CONSULT WITH IW ON ALTERNATIVE LOCATIONS.
 2. ANY PIPE AND ASSOCIATED ACCESS UPSTREAM OF THE POINT OF CONNECTION TO A PUBLIC SEWER WITHIN THE CONFINES OF A PRIVATE BOUNDARY IS A PRIVATE DRAIN AND SHOULD BE CONSTRUCTED IN ACCORDANCE WITH BUILDING REGULATIONS.
- TYPICAL SEWER/SERVICE PIPE CONNECTION (WW-004)**
3. AS FAR AS PRACTICABLE, JUNCTIONS AND SERVICE CONNECTIONS SHALL BE BUILT IN FOR ALL PLANNED USERS WHEN THE SEWER IS BEING CONSTRUCTED, WHERE IT IS NECESSARY TO MAKE A POST-CONSTRUCTION CONNECTION THE DEVELOPER SHALL BRING THE SEWER TO THE INSPECTION CHAMBER, INSTALL THE INSPECTION CHAMBER AND SEAL THE UPSTREAM END UNTIL THE CONNECTION IS REQUIRED.
 4. THE VERTICAL ANGLE BETWEEN THE SERVICE CONNECTING PIPE AND THE HORIZONTAL SHALL BE GREATER THAN 0° AND NOT MORE THAN 60°.
 5. WHERE THE CONNECTION IS BEING MADE TO A SEWER WITH A NOMINAL INTERNAL DIAMETER OF 300mm DIAMETER OR LESS, CONNECTIONS SHALL BE MADE USING 45° ANGLE JUNCTIONS.
 6. WHERE THE CONNECTION IS BEING MADE TO A SEWER WITH A NOMINAL INTERNAL DIAMETER GREATER THAN 300mm :
 - A) IF THE DIAMETER OF THE CONNECTING PIPE IS GREATER THAN HALF THE DIAMETER OF THE SEWER, AN ACCESS MANHOLE SHALL BE CONSTRUCTED TO FORM THE CONNECTION POINT; OR,
 - B) IF THE DIAMETER OF THE CONNECTING PIPE IS LESS THAN OR EQUAL TO HALF THE DIAMETER OF THE SEWER, THEN THE CONNECTION SHALL BE MADE USING A PREFORMED SADDLE FITTING WITH A SLOW BEND BETWEEN THE SADDLE AND THE CONNECTING SEWER/DRAIN .
 7. CONNECTIONS MADE WITH SADDLE FITTINGS SHALL BE MADE BY CUTTING AND SAFELY REMOVING A CORE FROM THE PIPE AND JOINTING THE SADDLE FITTING TO THE PIPE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS TO ENSURE A WATERTIGHT JOINT, THE CONNECTING PIPE SHALL NOT PROTRUDE INTO THE SEWERS.
 8. THE USE OF 90° CONNECTIONS TO THE SEWER MAY BE ALLOWED SUBJECT TO IRISH REVIEW, PROVIDED THE SADDLE OR BRANCH INCORPORATES A SWEEP TEE CONNECTION TOWARDS THE DIRECTION OF FLOW.

H:\GARLAND\CURRENT\STANDARD INFRASTRUCTURE DETAIL\DWG SERIES\WATER\WATER\GAR-101.DWG - JAN 2016.DWG

Sheet Title:
INFRASTRUCTURE STANDARD DETAILS
(WW-03/ WW-04)

Sheet No. **GAR-1SD-101** Rev. **A**

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